

City of Indian Wells
Town Center Specific Plan

May 15, 2008

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City of Indian Wells

Town Center Specific Plan

May 15, 2008

1.0 Introduction

A. Purpose.....	1.0 - 1
B. Project Summary	1.0 - 2
C. Project Setting	1.0 - 2
D. The Process.....	1.0 - 2
E. Environmental	1.0 - 3
F. Relationship to Other Plans	1.0 - 3
G. Relationship to Other Agencies	1.0 - 3
H. Amendments to the Specific Plan.....	1.0 - 3

2.0 Overall Standards

A. General	2.0 - 1
B. General Plan Conformance	2.0 - 1
C. Administration.....	2.0 - 2
D. Implementation.....	2.0 - 2
E. Definitions	2.0 - 2
F. Planning Areas and Land Uses Defined (with Map)	2.0 - 3
G. Commercial Parking Standards	2.0 - 4

3.0 Development Standards

3.1 Planning Area One

A. Uses Permitted	3.1 - 1
B. Building Setbacks	3.1 - 1
C. Parking Area Setbacks	3.1 - 2
D. Building Height.....	3.1 - 2
E. Landscape.....	3.1 - 2
F. Signage.....	3.1 - 2

3.2 Planning Area Two

A. Uses Permitted	3.2 - 1
B. Building Setbacks	3.2 - 1
C. Parking Area Setbacks	3.2 - 1
D. Building Height.....	3.2 - 2
E. Landscape.....	3.2 - 2
F. Signage.....	3.2 - 2

Table of Contents (continued)

3.3 Planning Area Three

A. Uses Permitted	3.3 - 1
B. Building Setbacks	3.3 - 1
C. Resort Residential Lots.....	3.3 - 1
D. Building Height.....	3.3 - 1

3.4 Planning Area Four

A. Uses Permitted	3.4 - 1
B. Building Setbacks	3.4 - 1
C. Parking Area Setbacks	3.4 - 1
D. Building Height.....	3.4 - 1
E. Landscape.....	3.4 - 1
F. Signage	3.4 - 1

4.0 Design Guidelines

A. Introduction.....	4.0 - 1
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4.1 Planning Areas One and Four – Retail Entertainment

Architectural Design Guidelines	4.1 - 1
Aerial Photograph of Existing Conditions.....	4.1 - 5
Proposed Site Plan	4.1 - 6
Concept Design Renderings.....	4.1 - 7
Materials, Colors and Finishes.....	4.1 - 14
Sun Control.....	4.1 - 19
Site Furniture and Details.....	4.1 - 24
Water Features	4.1 - 27
Hardscape and Paving	4.1 - 31
Gathering Spaces	4.1 - 33
Office Buildings	4.1 - 35
Color Palette	4.1 - 42

4.2 Planning Area Two – Resort Hotel

Architectural Design Guidelines	4.2 - 1
Aerial Photograph of Existing Conditions	4.2 - 2
Phase One Site Plan	4.2 - 3
Phase Two Site Plan	4.2 - 4
Concept Design Renderings	4.2 - 5
Exterior Materials	4.2 - 8
Accent Materials	4.2 - 9
Exterior Design	4.2 - 10
Public Spaces	4.2 - 11
Terraces.....	4.2 - 13
Leisure Areas	4.2 - 14

Table of Contents (continued)

4.3 Planning Area Three – Resort Residential

Architectural Design Guidelines	4.3 - 1
Aerial Photograph of Existing Conditions	4.3 - 2
Site Plan	4.3 - 3
Conceptual Street Scene and Site Section	4.3 - 4
Conceptual Design Elevations	4.3 - 5
Materials, Colors and Finishes	4.3 - 8
Fenestration	4.3 - 9
Architectural Details	4.3 - 10
Indoor/Outdoor Living	4.3 - 11
Courtyards	4.3 - 12
Courtyard Amenities	4.3 - 13
Outdoor Spaces	4.3 - 14

4.4 Landscape and Common Areas

Introduction	4.4 - 1
Lighting	4.4 - 1
Service Areas	4.4 - 1
Landscape	4.4 - 2
Plant Palette	4.4 - 3
Planting – Trees	4.4 - 5
Planting – Edges	4.4 - 7
Planting – Bases	4.4 - 8
Planting – Color	4.4 - 9
Textures	4.4 - 10
Parking Lot Planting	4.4 - 11
Perimeter	4.4 - 12

5.0 Maps and Charts

A. Vicinity Map	5.0 - 1
B. USGS Topographic Map	5.0 - 2
C. Land Use Plan	5.0 - 3
D. General Plan Land Use and Zoning	5.0 - 4
E. Preliminary Utility Plan - Planning Area One	5.0 - 5
F. Preliminary Utility Plan - Planning Area Two	5.0 - 6
G. Preliminary Utility Plan - Planning Area Three	5.0 - 7

City of Indian Wells

Town Center Specific Plan

1.0 Introduction

1.0 Introduction

A. Purpose

The purpose of this Specific Plan is to set forth the detailed development standards, design guidelines, and programs to facilitate the development of a 79.26 +/- acre site located west of Washington Street, and north and south of Miles Avenue, in the City of Indian Wells, California (Vicinity Map, page 5.0-1).

This Specific Plan is intended to meet the requirements for a Specific Plan as set forth by State law. The State authorizes cities and counties to adopt Specific Plans as an appropriate tool in implementing their General Plans. Such a plan is to include the detailed regulations, conditions, programs, and any proposed legislation that is necessary for the systematic implementation of the General Plan. The Specific Plan provides the linkage between the General Plan, the general goals and policies of the City, and the detailed implementation of that plan with tools such as zoning ordinances, subdivision ordinances, and the like. The Government Code (Section 65451) sets forth the minimum requirements of a Specific Plan and states:

“A Specific Plan shall include text and diagram or diagrams which specify all of the following in detail:

- 1). The distribution, location, and extent of the uses of land, including any open space, within the area covered by the plan.
- 2). The proposed distribution, location and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described by the plan.
- 3). Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- 4). A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).”

The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan. The establishment of specific performance, design, and development standards is set forth to guide the development of the subject property in such a way as to implement the General Plan while maintaining some flexibility to respond to changing conditions which may be a factor in any long term development program.

B. Project Summary

Indian Wells Town Center is a project encompassing approximately 79.26 acres of undeveloped land. The development is comprised of four Planning Areas:

Area	Use	Property Square Footage	Property Acreage
Planning Area One	Retail/ Entertainment/ Commercial	1,277,171.73	29.32
Planning Area Two	Resort Hotel	968,512.57	22.23
Planning Area Three	Resort Residential	<u>1,098,054.23</u>	<u>25.21</u>
	Subtotals	3,343,738.53	76.76
Planning Area Four	Retail	<u>108,902.80</u>	<u>2.50</u>
	Totals	3,452,641.30	79.26

The proposed project will contain a mixture of uses designed to allow residents, guests, and residents of nearby existing developments to meet many service, employment, and recreational needs.

C. Project Setting

The project site is surrounded by views of the San Jacinto Mountains and the Santa Rosa Mountains. Town Center is surrounded by:

North – The existing Southwest Community Church campus

East – The eastern border is Washington Street. North of Miles Avenue there is existing single family residential across Washington. South of Miles there is an existing multi-story hotel and other commercial.

South – South of the site is the Whitewater Channel.

West – North of Miles Avenue, the Indian Wells Tennis Garden is the adjacent use. South of Miles, there is vacant land, approximately 20 acres.

Please see the Exhibit on Page 5.0-2 for the USGS topographic Map.

D. The Process

The purpose of a Specific Plan is to provide a detailed plan for a selected area within the City for the purpose of implementing the General Plan. This Specific Plan outlines and directs all facets of development for this site. The existing land use designation on the City's General Plan is a combination of Sport Complex (SPX) and Resort Commercial (RC). The Zoning designation is identical to the General Plan land use designation – except the Residential (Planning Area Three) requires approval of a General Plan Amendment and Zone change.

North of Miles Avenue, Town Center will be up to 400,000 square feet of retail, entertainment and commercial space in Planning Area One, and up to 10,000 square feet of retail in Planning Area Four. South of Miles, Planning Area Two is proposed as a 300-unit resort hotel complex. In Planning Area Three, 65 single-family resort residential homes are proposed.

Development of the project is allowed through an adoption of a General Plan Amendment and Zone Change. A Conditional Use Permit is required for the development of the Commercial site. Approval of the Town Center Specific Plan and approval of three Tentative Tract Maps numbered 35569 (Residential), 35568 (Hotel), and 35114 (Commercial) are also required to allow development of the proposed project.

E. Environmental

The City of Indian Wells, as Lead Agency for the project, prepared a Supplemental Environmental Impact Report pursuant to the California Environmental Quality Act (CEQA).

F. Relationship to Other Plans

The Town Center Specific Plan provides regulations, guidelines and standards that are consistent with the goals and policies of the City's General Plan. The proposed specific Plan contains development standards and regulations to guide all facets of the project. Adopted by ordinance, the Specific Plan will provide the Development Regulations for all four Planning Areas.

G. Relationship to Other Agencies

In addition to City approvals, permits will be required by the Coachella Valley Water District (CVWD) for improvements to the water and sewer lines, or any development that falls within the Whitewater Channel right-of-way. Other infrastructure improvements will be required by the utility companies servicing the sites for electric, gas, cable and telephone.

H. Amendments To The Specific Plan

The Town Center Specific Plan and Design Guidelines are intended to provide flexibility in the Final Design of each of the project components. For each of the Planning Areas, the Final Design Approval will look for conformance to the Development Requirements of the Specific Plan and incorporation and implementation of the elements within the Design Guidelines. The final site plan and layout may vary from the exhibits contained within the Specific Plan while still conforming to the Standards contained within.

Any major amendments to the Specific Plan shall be made in accordance with the adopting provisions of the original Specific Plan and Section 21.06.030 of the City of Indian Wells Municipal Code, i.e., hearings before the Planning Commission and City Council. According to Section 21.06.030(f) of the City of Indian Wells Municipal Code, a revision to a Specific Plan which is determined by the Director of Community Development to be major shall be approved by the City Council. A major revision to a Master Development Plan or Specific Plan constitutes re-approval. All other revisions could be approved by the Director of Community Development. (Ord. 387 § 1, 1996).

City of Indian Wells
Town Center Specific Plan

2.0 Overall Standards

2.0 Overall Standards

A. General

This document contains the specific Standards and Regulations for the Specific Plan of Indian Wells Town Center that deviate from and expand on the development standards set forth in the Indian Wells Zoning Code.

B. General Plan Conformance

The purpose of this document is to ensure that the proposed project is developed in accordance with goals and policies of the City's General Plan.

1. Land Use

a) The General Plan states:

Resort Commercial - Attractively designed hotel and resort complexes. the development will have quality architectural design and extensive landscaping. Parking areas will be screened from public streets with landscaping, buffer areas or decorative walls. Uses include hotels as the primary use with ancillary tourist commercial uses that may include restaurants, related convention facilities, and supporting retail and personal services.

b) This project meets all of the Land Use requirements of the General Plan. This Specific Plan outlines the proposed uses and locations that will control the conformance with these standards.

2. Goals and Policies

The development standards and controls outlined in this Specific Plan are consistent with the Goals and Policies of the General Plan. Examples of conformance are:

a) Commercial Policy IIA1.6

Encourage new commercial development that relates to the City's resort industry.

This project provides both a new resort and supporting retail/ entertainment uses.

b) General Development Policy IIA1.20

Require sufficient areas of open space in all new development projects.

This retail/ entertainment portion of this project provides large plazas and courtyards in addition to generous walkways and promenades.

c) City Image - Private Development Policy IIA2.6

Maintain and promote high quality urban design to ensure and enhance the quality image and residential character of the City.

This project provides a blend of resort, retail and residential uses that will provide a single

destination for tourist and resident enjoyment. The resort residential will be one of the premier neighborhoods within the City both through the layout, building design and the association with the Resort Hotel.

C. Administration

1. Use of the Specific Plan

The development standards provided in this Specific Plan supercede the standards contained in the City of Indian Wells Municipal Code. When an issue is not addressed in this Specific Plan, the standards contained in the City of Indian Wells Municipal Code apply.

2. Modifications to the Specific Plan

Modifications to the layouts on the Approved Plan may be proposed by the Owner and approved by Director of Community Development if they are in conformance with the Development Agreement and this Specific Plan.

D. Implementation

The development of the Indian Wells Town Center will be based upon the General Plan, this Specific Plan, the approved Development Agreement and achieved using private financing.

E. Definitions

Commercial Building

Building(s) intended for non-residential uses.

Lot Line

The line between two privately owned parcels of land.

One Story Building

A Building with a single floor level that may include a mezzanine.

Parking Area

The paved area on the site devoted to the parking of vehicles including the drive aisles, parking spaces, driveways and surrounding curb.

Parking Requirement

The required number of the spaces based on shared uses as defined within the Parking Demand Analysis.

Quick-serve Restaurant

A restaurant that offers food to take away as well as sit down dining. All food is generally ordered and paid for at a counter. Coffee houses, tea rooms, bakeries, as well as meal service facilities are included in this category. No drive-thru facilities are allowed.

Residential

Non-commercial uses that have typical living accommodations.

Resort Hotel

A hotel complex consisting of up to 300 units, including up to 40,000 square feet of ballroom

and meeting space, an approximate 20,000 square foot spa and fitness center, pools and water features, other recreation facilities, dining facilities, gift and sundry shops, and support service areas, all or a portion of which may be owned and operated as a condominium hotel.

Restaurant

A sit-down restaurant and nightclub.

Property Line

The line between public or private streets right-of-way and privately owned parcels of land.

Shared Parking Demand Analysis

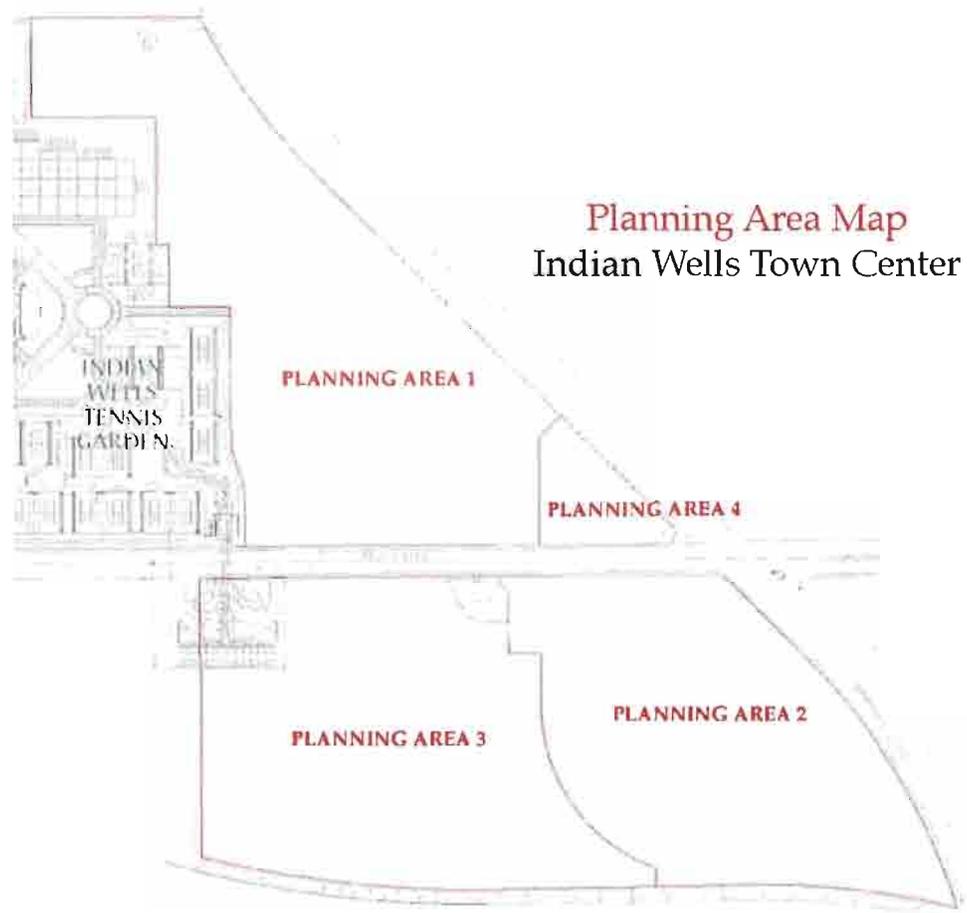
A study that analyzes the sharing of parking within the same development based on a mix of uses and the varying “peak hours of demand” of the differing uses.

Theatre

A multiplex cinema.

F. Planning Areas and Land Uses Defined

The property shown on the attached Planning Area Map below north of Miles Avenue is referred to herein as Planning Area One and Planning Area Four. The property shown on the Site Plan south of Miles Avenue is Planning Area Two, Resort Hotel and Planning Area Three, Resort Residential. The Land Use Plan indicates the uses per area as well as the residential densities allowed.



G. Commercial Parking Standards

The following Parking Standards apply to all commercial uses within Planning Area One, Planning Area Two and Planning Area Four:

1. Parking Standards

- a) Minimum drive aisle width – twenty-five feet (25')
- b) Parking Space size – 9' x 18' with an allowable two foot (2') overhang where a parking space is adjacent to a landscape area.
- c) Handicap parking – per the standards of the California Building Code.

2. Required Parking

Final development will be limited by the proposed uses and their demand on the parking space budget. A Parking Analysis could be required for any use not listed in Table 1 or any change of use.

3. Parking Ratio

The parking is based on a Shared Parking Demand Analysis calculation. The ratios used in the Analysis are as follows:

Table 1 - Parking Ratios

Use	Ratio
Medical Office	1 space per 200 SF
General and Professional Office	1 space per 250 SF
Retail	1 space per 250 SF
Free Standing Restaurant, 1 st 4,000 SF of space Space in excess of 4,000 SF	1 space per 100 SF gross 1 space per 100 SF gross
In Line Restaurants and Food Courts	1 space per 66 SF gross
Cinemas (including food services and other internal amenity spaces)	1 space per 4 seats in ground floor auditoriums only
Resort Hotel	1.1 spaces per guestroom
Civic Uses (Museum, Police, Chamber, etc.)	No parking requirement

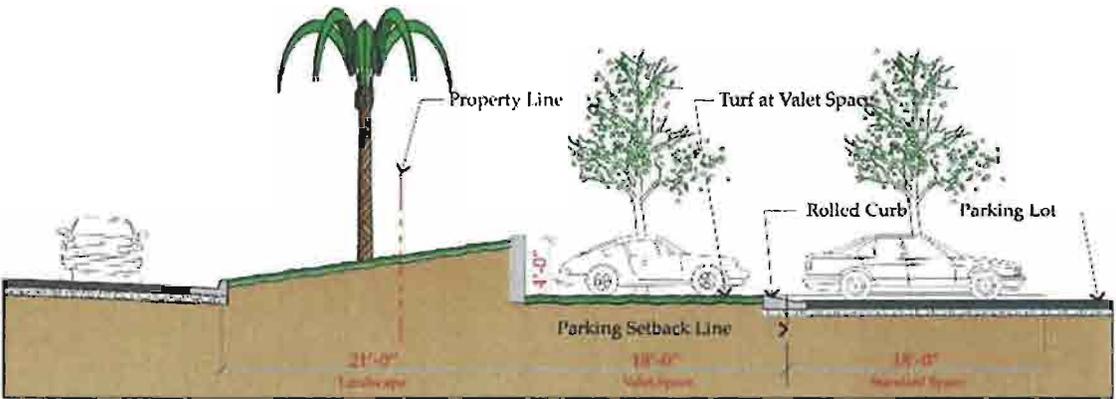
4. Screening of Parking

Parking Areas adjacent to Washington Boulevard and Miles Avenue shall be screened with berms, slopes, hedges and/or low walls as determined by the ALC.

5. Tandem Parking

Tandem parking spaces will be allowed for valet parking only. Within certain setback areas along Washington Boulevard and Miles Avenue, the tandem space can be located behind a paved parking space, within the setback area. The valet space must be separated from the paved space by a rolled concrete curb, and the valet parking area must be turf. The

screening of parking as noted above will happen behind the tandem space. Refer to the following diagram:



Valet tandem spaces are allowed along Washington Boulevard between Pad S and Pad T, along Miles Avenue between Pad B and Pad C, and in other locations as approved by the City.



City of Indian Wells

Town Center Specific Plan

3.0 Development Standards

3.1 Planning Areas One – Commercial	3.1 – 1
3.2 Planning Area Two – Resort Hotel	3.2 – 1
3.3 Planning Area Three – Resort Residential	3.3 – 1
3.4 Planning Area Four – Retail and Restaurant	3.4 – 1

3.1 Development Standards – Planning Area One (Commercial)

A. Uses Permitted

Development in this zone shall be in substantial accordance with this Specific Plan for the property as approved, and all uses proposed thereon shall be in accordance with the list below:

1. retail and service businesses;
2. motion picture theaters;
3. museum and art galleries;
4. administrative, business, medical and professional offices;
5. restaurants, sit down and quick serve;
6. retail kiosks;
7. antenna (see Section 21.90.060 of the City of Indian Wells Municipal Code).

B. Building Setbacks

1. Street side setback of Buildings adjacent to Washington Street.

a) Buildings twenty-six feet (26') or less in height shall be not less than twenty-five feet (25') from the Property Line.

b) For buildings greater than twenty-six feet (26') in height the building(s) shall be setback from the Property Line twenty five feet (25') plus one foot (1') for every foot of building height above twenty-six feet (26'). The point of height measurement on the building is the highest point of the elevation which is directly adjacent to the Setback Line. The maximum required setback is fifty feet (50'), but in no event less than twenty five feet (25').

c) For Major Tenant retail buildings over forty-five feet in height, the minimum setback shall be one hundred feet (100') for the portion of the building that exceeds the forty-five foot (45') height.

d) Office Buildings greater than twenty-five feet (25') in height shall be not less than thirty-five feet (35') from the Property Line. The point of height measurement on the building is the highest point of the elevation which is directly adjacent to the Setback Line.

2. Street side setback of Buildings adjacent to Miles Avenue.

a) Buildings twenty-six feet (26') or less in height shall be not less than twenty-five

feet (25') from the Property Line.

b) Buildings greater than twenty-six feet (26') in height shall be not less than thirty-five feet (35') from the Property Line.

c) For Major Tenant retail buildings over forty-five feet in height, the minimum setback shall be one hundred feet (100') for the portion of the building that exceeds the forty-five foot (45') height.

3. Interior Lot Line.

No minimum setback is required to any interior lot line.

4. Property Lines Between Planning Area One and Planning Area Four

Building(s) shall be not less than ten feet (10') from property lines between Planning Area One and Planning Area Four.

C. Parking Area(s) Setbacks

Street side setback for parking:

1. Minimum setback for Parking Area adjacent to Washington Boulevard shall be twenty-five feet (25') from the Property Line of Washington Boulevard. Tandem parking spaces are allowed within the twenty-five foot (25') setback area. Refer to Paragraph 2.0.G.5.

2. Minimum setback for Parking Area adjacent to Miles Avenue shall be twenty-five feet (25') from the Property Line of Miles Avenue. Tandem parking spaces are allowed within the twenty-five foot (25') setback area. Refer to Paragraph 2.0.G.5.

D. Building Height

1. Building heights for office buildings in Area One shall be limited to a maximum of four (4) stories or fifty-two feet (52'), except as may be provided for under a conditional use permit.

2. Building heights for retail/ commercial buildings in Area One shall be limited to a maximum of two (2) stories or forty five feet (45'), except as may be approved by the City. Theme structures, such as tower elements, clock towers, cupolas, or other architectural features as part of a building or freestanding, shall be limited to a maximum height of fifty-two feet (52'), except as may be provided for under a conditional use permit.

3. Pad buildings S and T along Washington, south of Seville, north of planning Area Four shall be limited to one (1) story or twenty-six (26'). Pad building C along Miles Avenue, adjacent to the intersection just west of Planning Area Four shall be limited to one (1) story or twenty-six feet (26').

4. Architectural feature towers (with limited areas) that exceed the maximum height in Paragraph 3 and 4 above will be considered by the ALC on a case by case basis. Approval of tower elements is discretionary.

E. Landscape

1. Landscape within parking areas will be per section 21.100.030 with the exception that trees that are planted within 5 feet of the perimeter of the parking lot will be included in the computation of required parking lot shading requirements. Trees in this location will only be bounded by parking area paving on one or two sides.

2. Landscape in this zone shall be substantially in accordance with the Master Development Plan for the property as approved, and all materials proposed thereon shall be in accordance with those materials listed within this Specific Plan.

F. Signage

A comprehensive Project Signage & Tenant Signage Program is included within Chapter 6.0 of this Specific Plan.

3.2 Development Standards – Planning Area Two (Resort Hotel)

A. Uses Permitted

Development in this zone shall be in accordance with the Master Development Plan for the property as approved, and all uses proposed thereon shall be in accordance with those uses which can be shown to make up the “resort experience”; which may include, but are not necessarily limited to:

1. resort hotel; condo hotel
2. conference and convention facilities;
3. restaurants;
4. resort residential;
5. antenna (see Section 21.90.060 of the City of Indian Wells Municipal Code);

B. Building Setbacks

1. Buildings twenty-six feet (26') or less in height shall be not less than twenty-five feet (25') from the Property Line.
2. For buildings greater than twenty-six feet (26') in height the building(s) shall be setback from the Property Line twenty five feet (25') plus one foot (1') for every foot of building height above twenty-six feet (26'). The point of height measurement on the building is the highest point of the elevation which is directly adjacent to the Setback Line. The maximum required setback is fifty feet (50'), but in no event less than twenty five feet (25').
3. Minimum setback for Resort Hotel Commercial Building(s) over twenty-six feet (26') in height and adjacent to residential lots or residential streets is not less than fifty feet (50') from Property Line of such residential streets or Lot Line of Residential Lots.
4. Accessory structures no greater than twenty-six feet (26') in height adjacent to residential lots or residential streets shall not be less than twenty-five feet (25') from Property Line of such residential streets or Lot Line of Residential Lots.

C. Parking Area Setbacks

Street side setback for Parking Area:

1. Minimum setback for Parking Area adjacent to Washington Boulevard shall be twenty-five feet (25') from the Property Line of Washington Boulevard.
2. Minimum setback for parking areas adjacent to Miles Avenue shall be twenty-five feet (25') from the Property Line of Miles Avenue.

D. Building Height

Building heights for the Resort Hotel shall be a maximum of ninety feet (90') as measured vertically from the center of the intersection of Miles Avenue and Washington Street.

E. Landscape

1. Landscape within parking areas will be per section 21.100.030 with the exception that trees that are planted within 5 feet of the perimeter of the parking lot will be included in the computation of required parking lot shading requirements. Trees in this location will only be bounded by parking area paving on one or two sides.

2. Landscaping for the Resort Hotel shall be lushly vegetated with a theme in a manner consistent with the approved exhibits. Leisure recreation areas shall include large lawn areas in addition to the trees and shrubs.

F. Signage

A comprehensive Tenant Exterior Sign Program will be submitted for approval by the City Staff and the ALC. Project Identification is included in Chapter 6.0 of this Specific Plan.

3.3 Development Standards – Planning Area Three (Resort Residential)

A. Uses Permitted

Development in this zone shall be in accordance with the Master Development Plan for the property as approved, and all uses proposed thereon shall be in accordance with those uses which can be shown to make up the “resort experience”; which may include, but are not necessarily limited to:

1. residential;
2. recreational facilities;
3. resort hotel; condo hotel;
4. antenna (see Section 21.90.060 of the City of Indian Wells Municipal Code);

If any portion of the Resort Hotel is built within this Planning Area, the development of the hotel shall be per the standards set forth for Planning Area Two of this Specific Plan.

B. Building Setbacks

Minimum setbacks for the residential lots shall be:

1. Front Yard Setback:20 feet minimum with staggered setbacks up to 25'. Staggered setbacks shall be intermixed throughout the development.
2. Rear Yard Setback:.....10 feet
3. Interior Side Yard Setback:.....5 feet minimum with a combined total of 16 feet (with the intention of maintaining 16 feet between structures)
4. Street Side Yard Setback (on corner lots)15 feet

C. Resort Residential Lots

Due to the unique nature of the lot layout required to achieve the resort experience and maximize views, irregularly shaped lots and multi-sided lots (greater than 4 sides) will be allowed. All 65 lots will have direct access to the street and no shared driveways will be allowed. For detached single family homes, minimum Lot Area shall be 8,500 square feet. On regular shaped lots, the minimum width of the lot shall be seventy feet (70') and the minimum depth shall be one hundred twenty one feet (121'). Irregularly shaped lots and multi-sided lots may have a frontage less than 70' and a depth less than 121', but will always be a minimum of 8,500 square feet. These lots will have a diagram that designates the yard (front, side, rear) and the required setback from each side.

D. Building Height

Building heights for the residential buildings shall be one story above the approved pad elevation and an overall maximum height of twenty feet (20') for any tower element, and a maximum height of sixteen feet (16') for the balance of the area. Parapets around any flat roof areas and plate height for walls with sloping roofs above shall not exceed twelve feet (12') in height at the minimum rear or side yard setback line.

3.4 Development Standards – Planning Area Four (Retail/Restaurant)

A. Uses Permitted

Development in this zone shall be in substantial accordance with this Specific Plan for the property as approved, and all uses proposed thereon shall be in accordance with the list below:

1. retail and service businesses;
2. restaurants, sit down;
3. administrative, business, medical and professional offices.

B. Building Setbacks

1. Street side setback of Buildings adjacent to Washington Street and Miles Avenue Building(s) shall be not less than twenty-five feet (25') from the Property Line.
2. Property Lines Between Planning Area One and Planning Area Four Building(s) shall be not less ten feet (10') from property lines between Planning Area One and Planning Area Four.

C. Parking Area(s) Setbacks

Street side setback for parking:

Minimum setback for Parking Area adjacent to Washington Boulevard and/ or Miles Avenue shall be twenty-five feet (25') from the street Property Line. Tandem parking spaces are allowed within the twenty-five foot (25') setback area. Refer to Paragraph 2.0.G.5.

D. Building Height

Building heights for commercial buildings in Planning Area Four shall be limited to one (1) story and twenty-six (26') in height maximum. Architectural feature towers (with limited areas) that exceed the maximum height will be considered by the ALC on a case by case basis. Approval of tower elements is discretionary.

E. Landscape

1. Landscape within parking areas will be per section 21.100.030 with the exception that trees that are planted within 5 feet of the perimeter of the parking lot will be included in the computation of required parking lot shading requirements. Trees in this location will only be bounded by parking area paving on one or two sides .
2. Landscape in this zone shall be substantially in accordance with the Master Development Plan for the property as approved, and all materials proposed thereon shall be in accordance with those materials listed within this Specific Plan.

F. Signage

A comprehensive Sign Program Design Guideline will be submitted for approval by the City. If the Sign Program Design Guidelines specific to this Planning Area are not approved as a part of this Specific Plan, an Amendment to the Specific Plan will be required to include them.

City of Indian Wells

Town Center Specific Plan

4.0 Design Guidelines

4.1 Planning Areas One and Four – Commercial	4.1 – 0
4.2 Planning Area Two – Resort Hotel	4.2 – 0
4.3 Planning Area Three – Resort Residential	4.3 – 0
4.4 Landscape and Common Areas.....	4.4 – 0

A. Introduction

The purpose of these Design Guideline sections is to detail the design standards, colors, finishes, materials and details that will be specific to each of the four Planning Areas of Indian Wells Town Center and the landscape and common area design guidelines that will be common to the entire project.

Detailed photographs displaying the conceptual architectural designs of each Planning Area (One, Two, Three and Four) are presented in the appropriate appendix section of this Specific Plan. The Conceptual Design Illustrations incorporate many of the elements of the Design Guideline photographs and represent a possible design solution based upon the Site Plan Alternative contained within the Specific Plan. All exhibits and photographs shown in this section are conceptual in nature. The Final Design for each of the Planning Areas will be prepared based upon the concepts and the elements incorporated here.

The Design Guidelines contained in this section are intended to establish a resort commercial development which is consistent with the City General Plan and this Specific Plan.

The Design Guidelines for the Indian Wells Town Center have been developed to:

- Provide a consistent approach to building designs, streetscape treatments, entry treatments, signage, walls, color, lighting, landscaping and other design elements that will endure for the life of the Project;
- Assist in implementing the intent of the Specific Plan by establishing Project design criteria;
- To ensure development in keeping with the desired character of the City; and
- To ensure high quality architecture and landscape design.

The architectural design will have a background of building materials that are used throughout the entire project, and a variety of details, finishes and colors that provide a distinct personality to each individual Planning Area. The Conceptual Design Illustrations exhibit this for three of the Planning Areas.

Final building elevations and landscaping shall be reviewed and approved by the Staff and the Architectural Landscape Committee and the City Council as a General Business item prior to building plan check submittal.

Design Guidelines for North of Miles Avenue

4.1 Planning Areas One & Four

Architectural Design Guidelines.....	4.1 - 1
Aerial Photo of Existing Conditions.....	4.1 - 5
Proposed Site Plan.....	4.1 - 6
Concept Design Renderings.....	4.1 - 7
Materials, Colors and Finishes.....	4.1 - 14
Sun Control.....	4.1 - 19
Site Furniture and Details.....	4.1 - 24
Water Features.....	4.1 - 27
Hardscape and Paving.....	4.1 - 31
Gathering Spaces.....	4.1 - 33
Office Buildings.....	4.1 - 35
Color Palette.....	4.1 - 42

Architectural Design Guidelines

The retail entertainment component of Indian Wells Town Center is designed to be developed with a movie theater, open air restaurants and shopping surrounding two large plazas. The plazas as well as the adjacent land uses are interconnected by grand pedestrian ways with landscaping, signage and site furniture used to aid in wayfinding.

The materials that embody Desert Lifestyle Architecture offer a contrast from smooth to textured. The colors are blended, typically with deep tones. Wall materials, base materials, and accent materials for both buildings and site elements will be a combination of: stone, tile, textured masonry, precast concrete, and plaster. Accent elements such as shade structures will be painted steel and other metals.

The buildings shall maintain a theme carried out by quality materials and imaginative design consistent with these Design Guidelines. Building design shall be unique to the site in that the configuration should take advantage of and preserve surrounding vistas and access points to adjacent parcels.

The following standards are provided to ensure a level of quality that must be complied with:

1. The use of simple plaster masses with deep punched openings, arched entryways, and sun control elements.
2. Horizontal and vertical building offsets, and curved building elements to create articulated breaks, visual relief and promote pedestrian circulation.
3. Architectural detailing, tile, stone, and strong colors shall be included at key places on the buildings and site features.
 - a. As one of the unifying materials, stone will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of stones may be used on the project, they will not be mixed on a single element or building facade.
 - b. Dry stack stone wall includes various sized pieces of stone, all with a horizontal proportion. Color is a range from tan to grey including accent pieces in deeper or contrasting colors. Dry stack stone may also be used for some of the site walls, pilasters and sign elements.
 - c. Some of the buildings and site elements will include grouted stone. The grout is colored to match the stone. Within this style, some of the walls have flush grout conditions while other walls will have untooled grout joints. Stone pieces are random sizes and shapes.
 - d. Ledger stone will also be used. The scale of this material is best used for columns, planters and accent walls. The stone will be complemented with plaster and/or precast concrete base and cap details.
 - e. Walls with masonry and tile accents are proposed for some of the building finishes. Combinations of textures and colors will be used. Typical locations for these materials will

be entries to courtyards and buildings.

f. Plaster walls and details will be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience.

4. Strategic orientation and configuration of buildings and shading elements shall be used to passively heat and cool spaces. Careful placement of the shade structure will allow for the creation of shade within the open courtyard and not interfere with the open sky placement of the trees. The creation of shade within the plazas and courtyards as well as along the building facades will be accomplished with combinations of:

- a. recessed openings
- b. deep overhangs
- c. awnings
- d. eyebrows
- e. trellis structures
- f. landscape
- g. free standing shade structures

5. Four-side architecture shall be provided for all buildings. Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of the building.

6. Courtyards and plazas with landscaping and pedestrian amenities shall be provided in the project. The unifying elements of a center are the site details. The details, when properly designed, will convey the sense of luxury and elegance that sets this development apart from other, similar types of centers.

a. The use of water elements in the landscape and hardscape areas provides the sense of cooling as well as the background sound. A variety of water features will be proposed depending on the location, desired effect, and the available space.

b. Distinctive canopies will mark areas such as valet parking stations and shuttle bus pick up. These structures will integrate the building materials, site lighting and canopies to form a complementary vocabulary to other site elements such as pathway lighting.

c. Throughout the project, the activity will center around gathering spaces. These spaces will vary from small to large, some informal, others formal. Many spaces will have a distinct purpose, such as a dining patio. Some of the spaces will be defined by the various events that will take place, not by the physical design.

d. Shade will be provided by both structures and landscape.

e. Contrasting textures will add visual interest to the plazas and courts. This variety will be in the hardscape, the site furniture and the choice of plant material.

7. Provide convenient pedestrian circulation between buildings, remote building pads and parking areas.

a. Large scale overhead structures will provide shade in the passageways between buildings and within the courtyards.

b. The linear promenades through the parking lots will have vertical elements to give prominence and easy visibility while offering a shaded pathway through the use of both structured shade devices and trees.

c. Pathways will be marked with bold rows of trees, visually linking the street and pad buildings with the main courts and plazas. Wayfinding from plaza to plaza will also be enhanced with a landscape edge.

8. Pedestrian circulation and wayfinding shall utilize a strong palette of hardscape and landscape elements and materials.

a. Transitions into pedestrian passageways shall be provided as well as the transition from landscape to hardscape will be defined with curbs, low walls and pilasters. These elements will incorporate the building materials, provide seating, and create a foreground for the buildings in some locations.

b. The accent plantings will boldly mark the entry points and the pathways to the plazas and courts. The landscape will have numerous vertical layers, offering variety in texture and color.

c. The pedestrian spaces will be enhanced by well designed pavement. From the parking lot promenades to the linear edge along the main drive, to the courtyards – the colors, textures and materials of the hardscape will convey direction, luxury, and quality. The palette will include pavers, colored concrete, natural stone and tile.

d. Details of the paving will reflect the use of curves in the architecture. The subtle use of texture as well as the bold use of shape will offer paving variety.

e. Each of the plazas, courts and promenades will have a unique style, yet all share in common elements and materials that will unify the project. Colors will be muted with deeper tones where possible to minimize the glare from reflected light.

f. Architectural pottery will be used to accent building entries, define spaces, separate seating areas, and add color through both the pot and the plantings.

g. The edges will include the thematic street plantings, shrubs, berms and low walls to screen the parking areas, and accent plantings at the major points of access, both vehicle and pedestrian.

9. Building entries shall be protected from the elements and articulated by the use of canopies, recesses or arcades.

- a. The entry to the buildings will be punctuated by the use of canopies and structured eyebrows.
- b. Office building entries shall have defining elements such as canopies, colonnades, multistory facade elements, or recessed doors.
- c. Entry canopies should be bold in design, identifying the entry way. They can be additive to the building or an integral part of the architecture.
- d. Site and building elements can have common detailing to articulate a path of travel and unify the design.

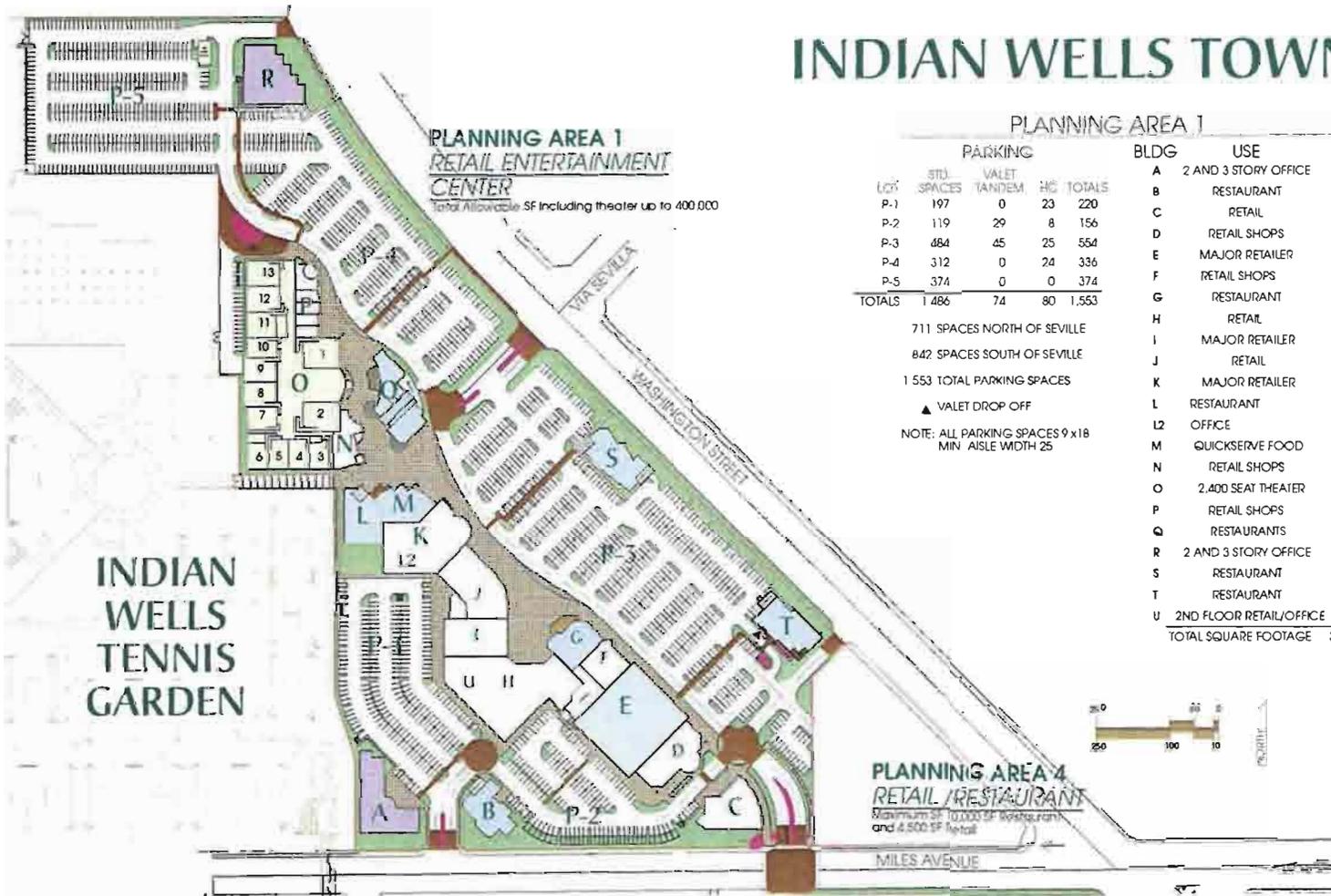
10. Variation in roof lines shall be used to add interest, and reduce the massive scale of large commercial buildings. Parapet walls and roof screens shall be treated as an integral part of the structural design.

- a. Articulation of the base, middle and top of the buildings will create visual interest.

11. Signage locations shall be integrated into the building design and the site elements offering visible signage for all tenants regardless of location. Signage design shall promote the festive atmosphere of the retail entertainment uses.



Aerial view of the existing site



INDIAN WELLS TOWN CENTER

PLANNING AREA 1

BLDG	PARKING			USE	SF
	STU. SPACES	VALET TANDEM	HIC TOTALS		
P-1	197	0	23	220	
P-2	119	29	8	156	
P-3	484	45	25	554	
P-4	312	0	24	336	
P-5	374	0	0	374	
TOTALS	1,486	74	80	1,553	

BLDG	USE	SF
A	2 AND 3 STORY OFFICE	37,000
B	RESTAURANT	7,000
C	RETAIL	9,550
D	RETAIL SHOPS	9,800
E	MAJOR RETAILER	28,000
F	RETAIL SHOPS	5,650
G	RESTAURANT	6,750
H	RETAIL	29,700
I	MAJOR RETAILER	10,000
J	RETAIL	10,750
K	MAJOR RETAILER	19,100
L	RESTAURANT	8,000
L2	OFFICE	11,200
M	QUICKSERVE FOOD	6,700
N	RETAIL SHOPS	5,400
O	2,400 SEAT THEATER	65,650
P	RETAIL SHOPS	7,250
Q	RESTAURANTS	10,865
R	2 AND 3 STORY OFFICE	30,000
S	RESTAURANT	8,000
T	RESTAURANT	8,000
U	2ND FLOOR RETAIL/OFFICE	15,000
TOTAL SQUARE FOOTAGE		349,375

711 SPACES NORTH OF SEVILLE
842 SPACES SOUTH OF SEVILLE
1,553 TOTAL PARKING SPACES
▲ VALET DROP OFF
NOTE: ALL PARKING SPACES 9 x 18
MIN AISLE WIDTH 25

PLANNING AREA 1
RETAIL ENTERTAINMENT CENTER
Total Allowable SF including theater up to 400,000

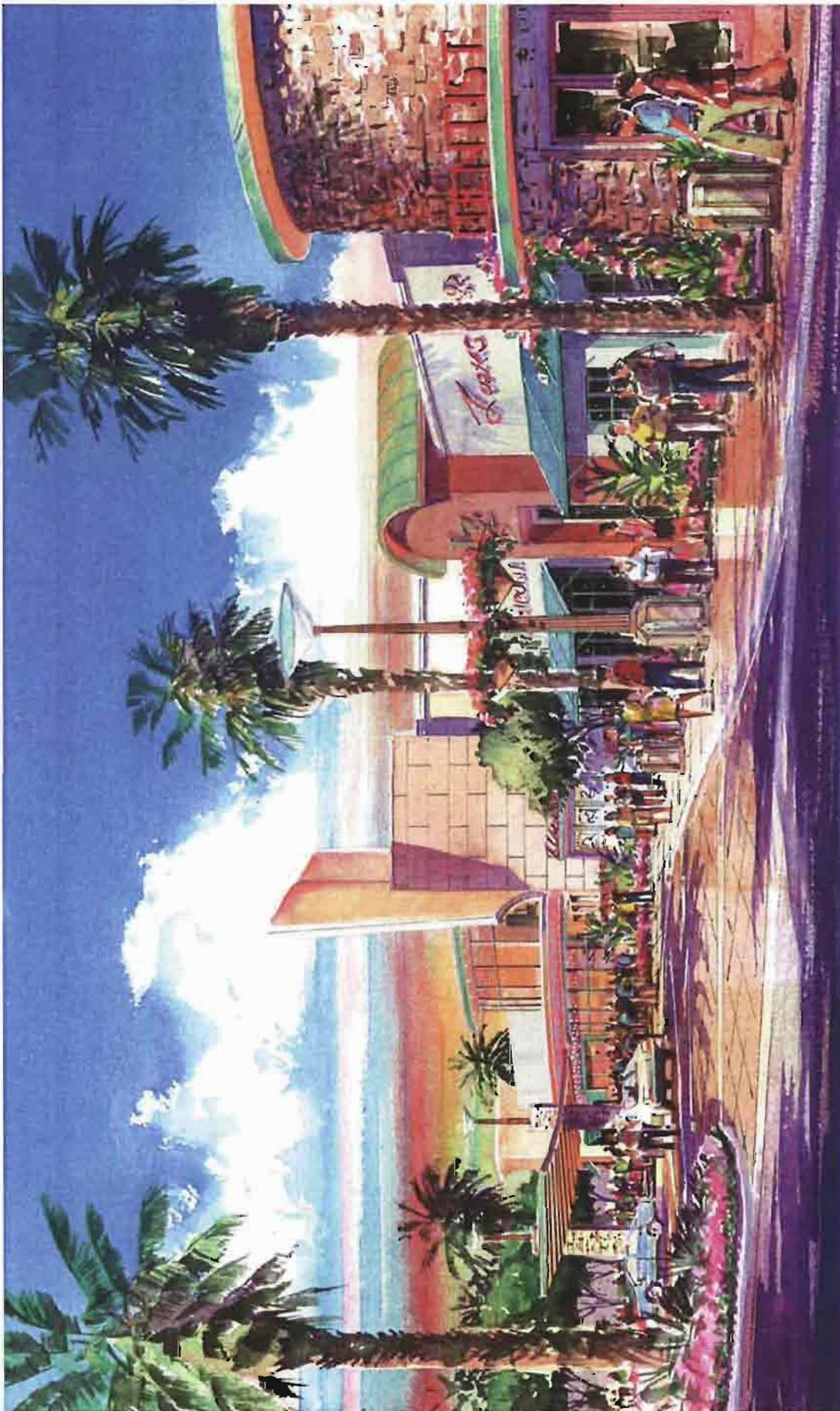
PLANNING AREA 4
RETAIL / RESTAURANT
Maximum SF 10,000 SF Restaurant
and 4,500 SF Retail

OWNER
Sanderson J. Roy - Indian Wells, LLC
a California limited liability company
2600 White Road
Suite 150
Irvine CA 92614
P. 949-222-5775
F. 949-300-9020

ARCHITECT
Keisker & Wiggle Architects, Inc
26961 Camino de Estrella
Suite 200
Capitiano Beach, CA 92624
P. 949-388-1250
F. 949-388-2760
E. info@kw-architects.com
W. www.kw-architects.com

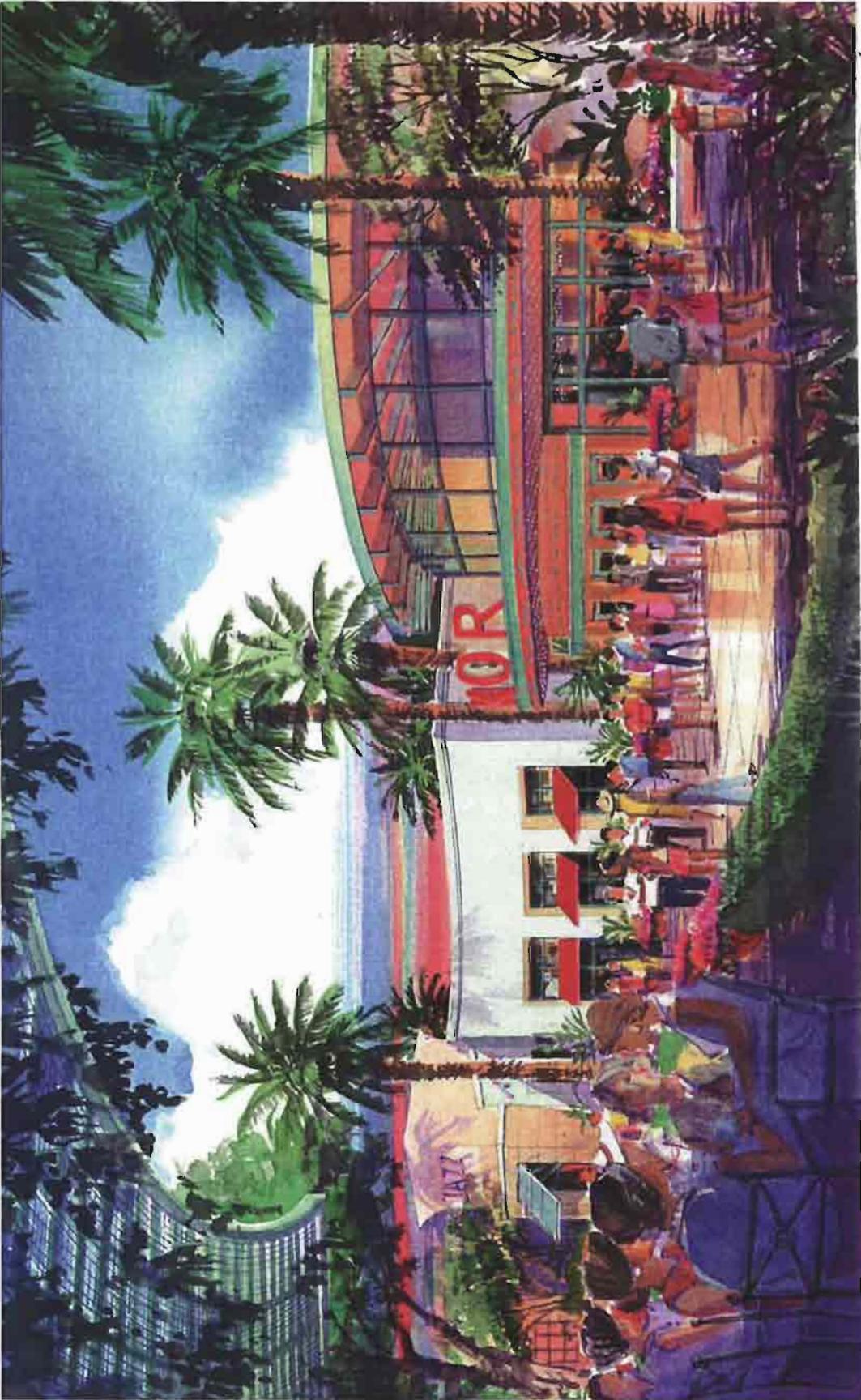
Keisker & Wiggle Architects, Inc.
949/388-1250
2008 © K&WA, Inc
15 MAY 2008

Proposed Retail Entertainment Center Site Plan



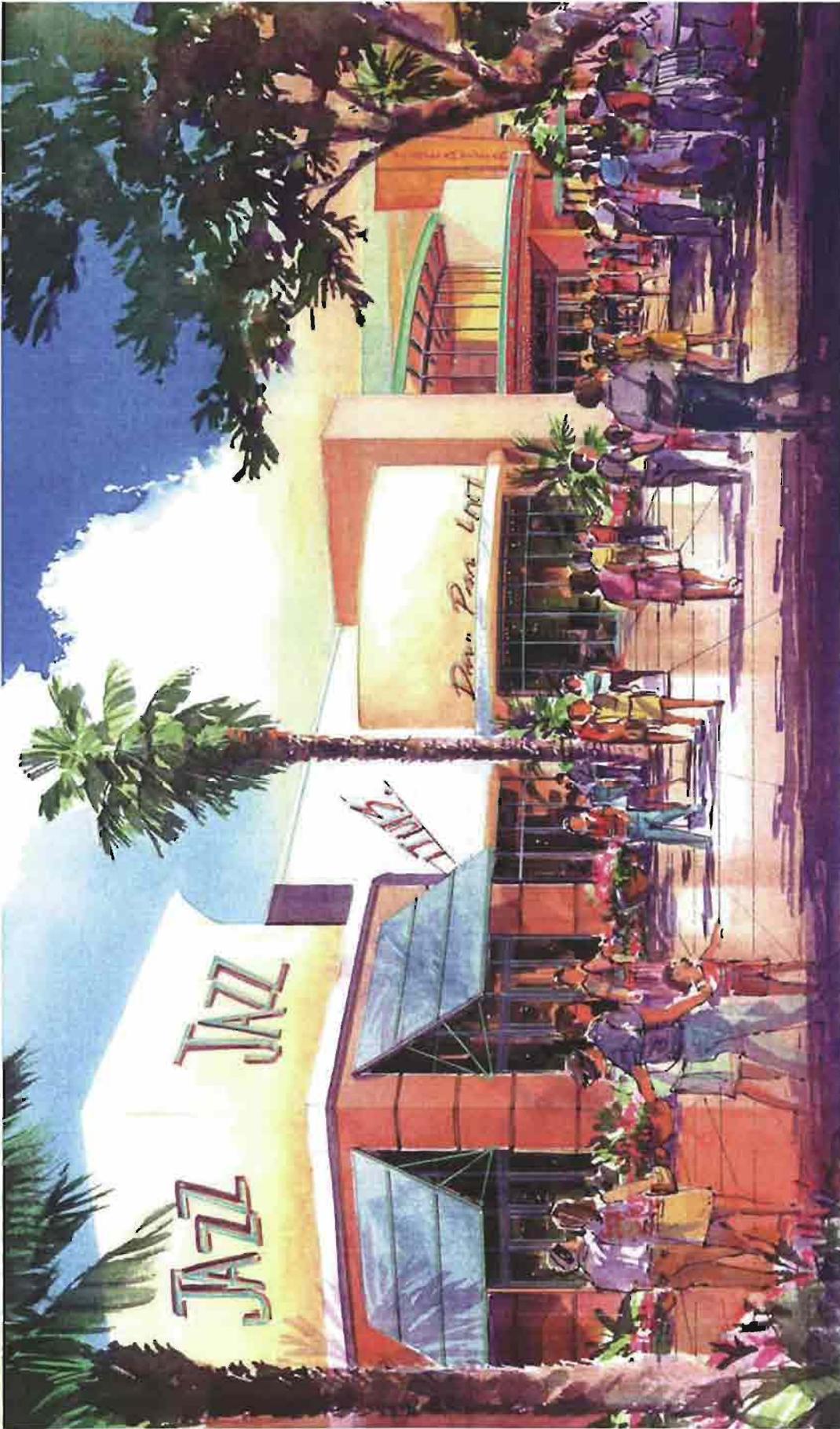
Reginald Brown

VIEW 1 - Looking south into the Theater Plaza



Thomas G. Gentry

VIEW 2 - Inside the Theater Plaza, looking South

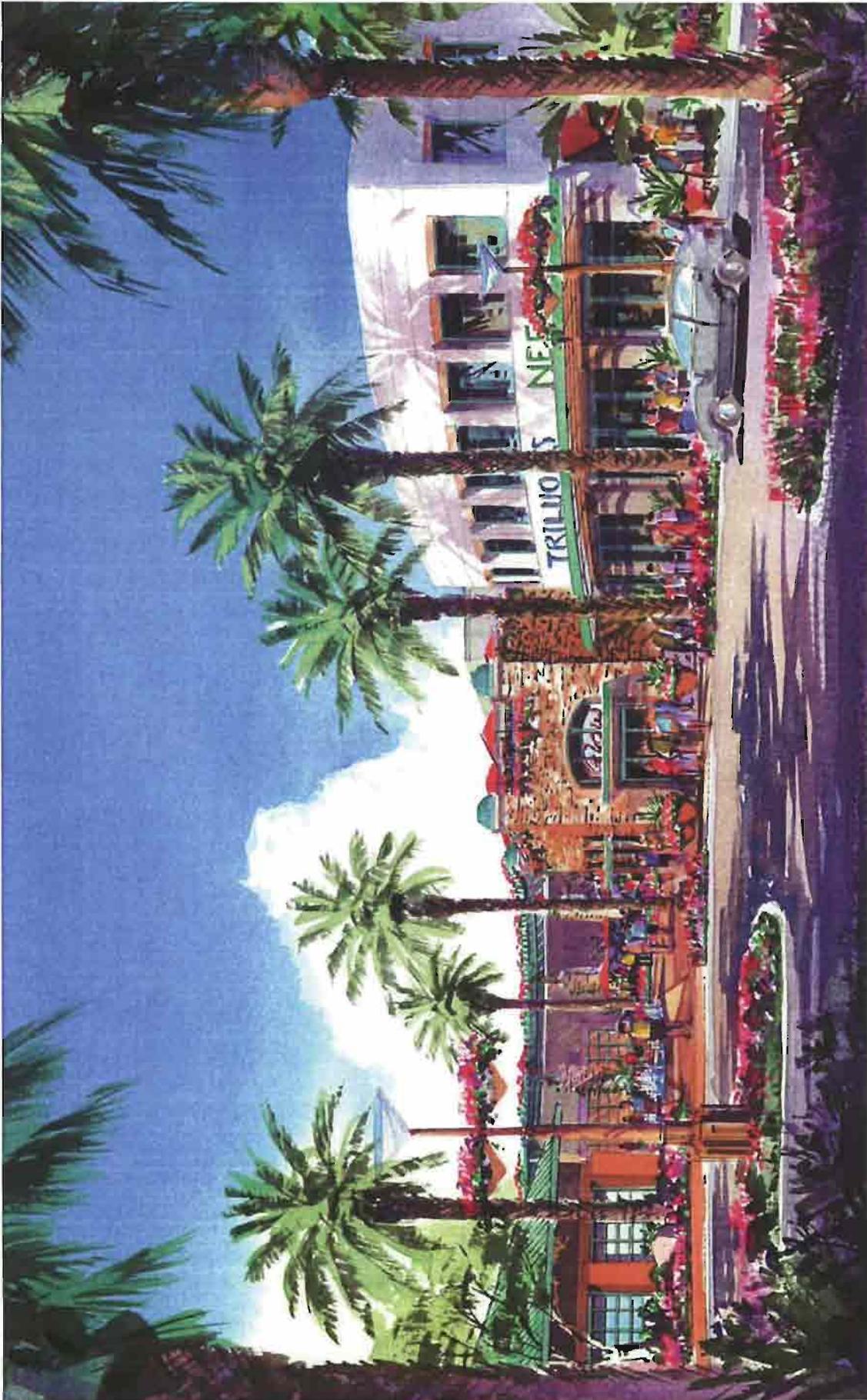


*Robert
Foster*

VIEW 3 - Looking North into the Theater Plaza



VIEW 4 - Looking Southwest from the Via Sevilla Entry



VIEW 5 - Looking South into the Retail Court



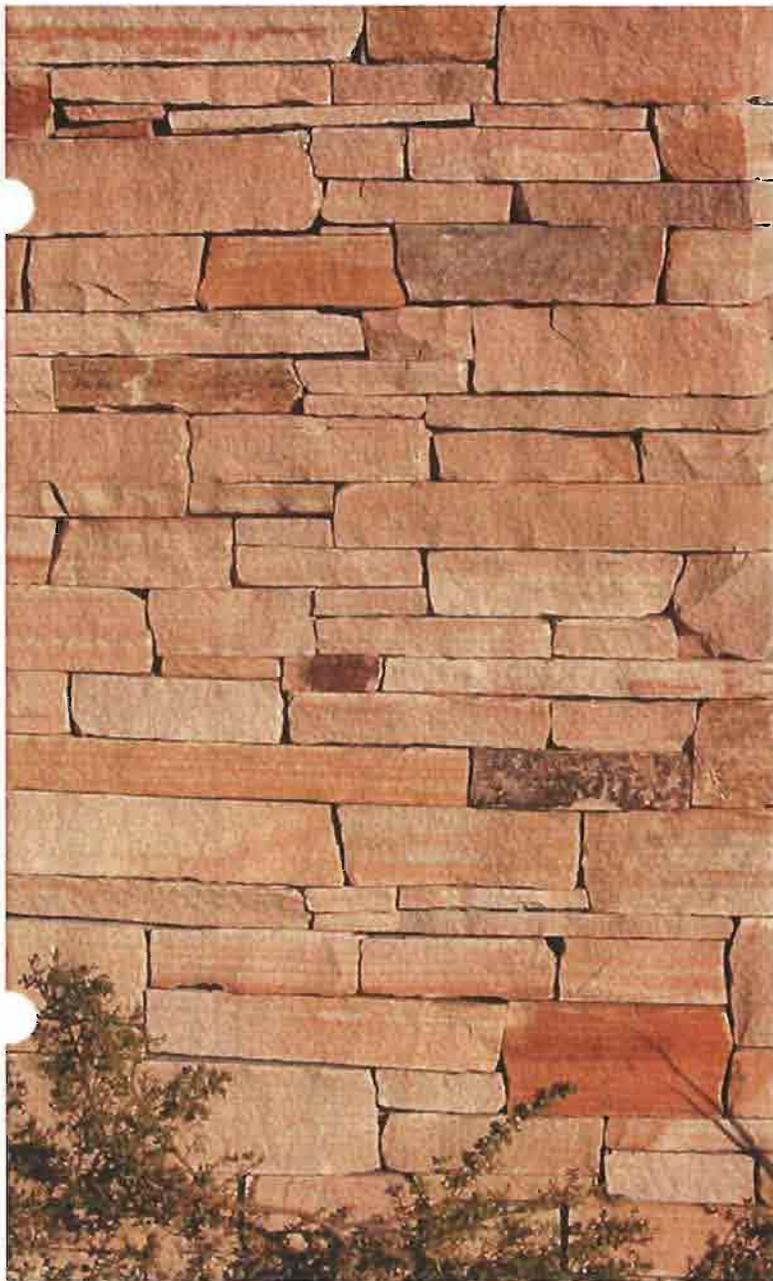
Mark Jordan

VIEW 6 - Looking West into the Retail Court



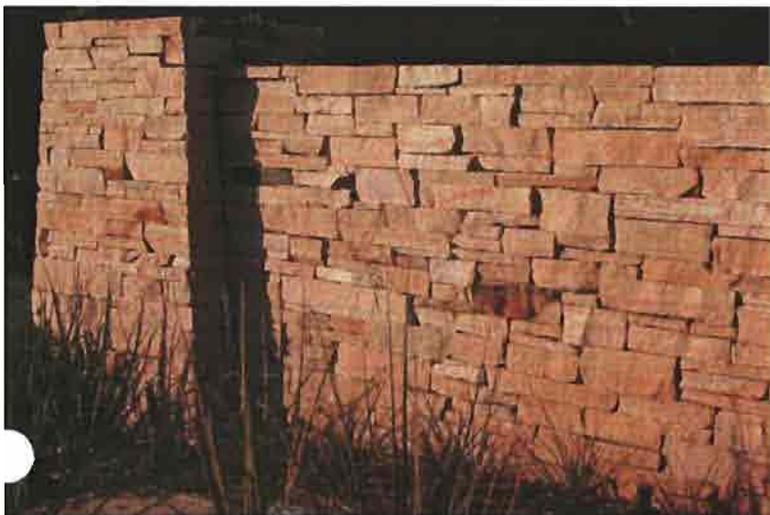
Anna Joubert

VIEW 7 - The southeast entry to the Retail Court

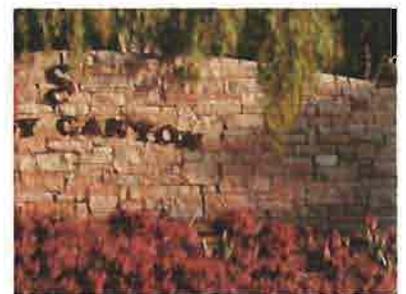


As one of the unifying materials, stone will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of stone will be used on the project, they will not be mixed on a single element or building facade.

Dry stack stone wall includes various sized pieces of stone, all with a horizontal proportion. Color is a range from tan to grey including accent pieces in deeper or contrasting colors.



Dry stack stone may also be used for some of the site walls, pilasters and sign elements.

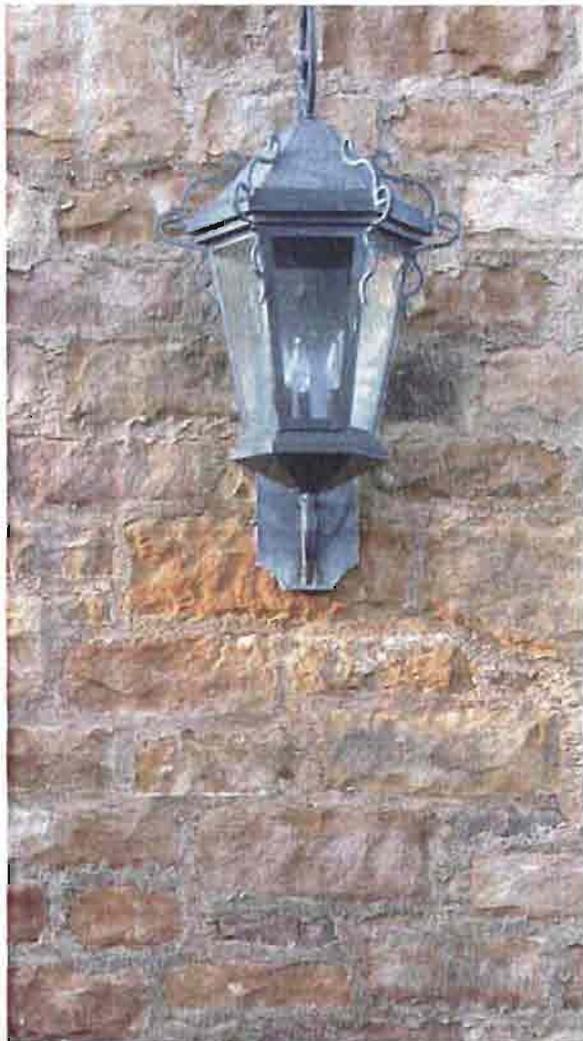


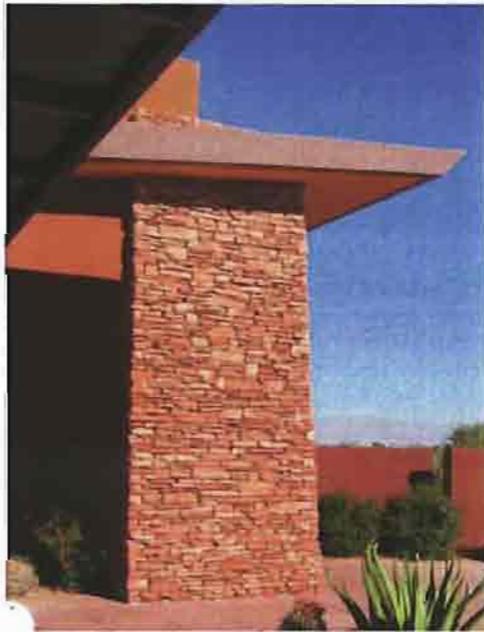
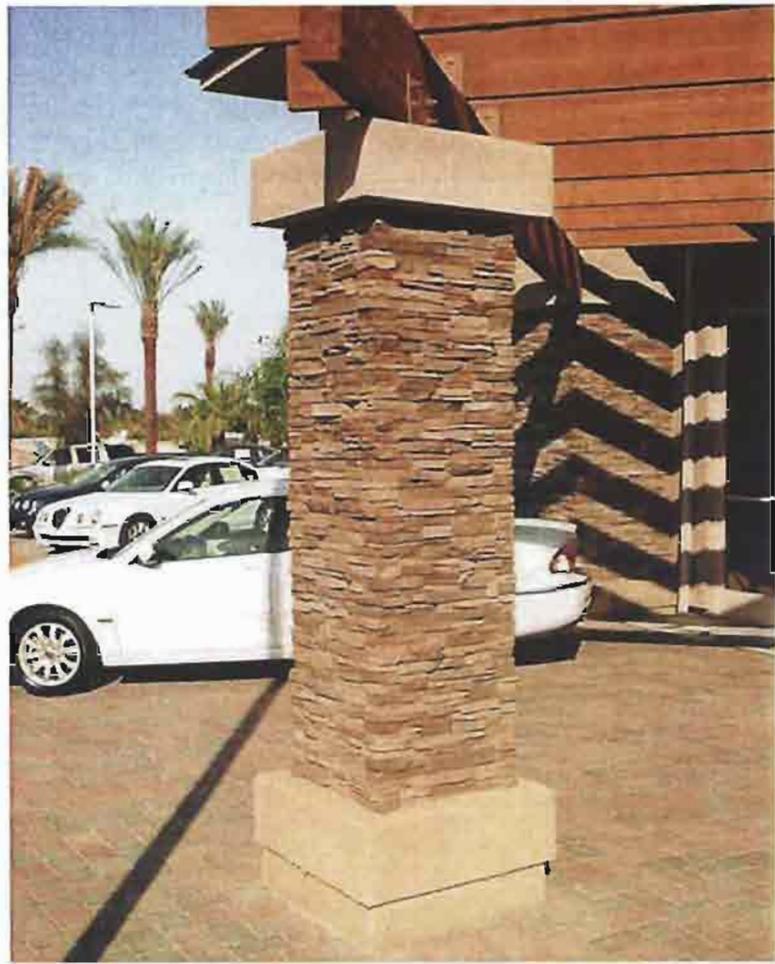


As a contrast to the dry stack stone, some of the buildings and site elements will include grouted stone.

The grout is colored to match the stone. Within this style, some of the walls have flush grout conditions while other walls will have untooled grout joints.

Stone pieces are random sizes and shapes.





Ledger stone will also be used. The scale of this material is best used for columns, planters and accent walls. The stone will be complemented with plaster and/or precast concrete base and cap details.





Ceramic slate tile with marble tile



Textured masonry with travertine tile

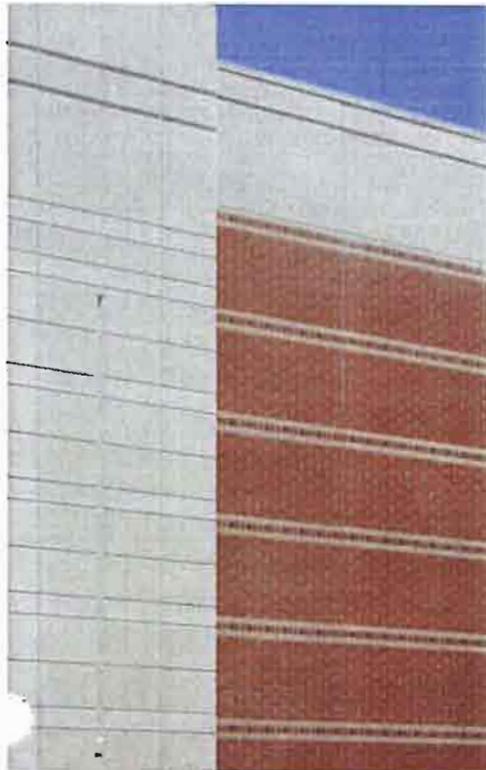


Travertine stone with precast concrete eave detailing

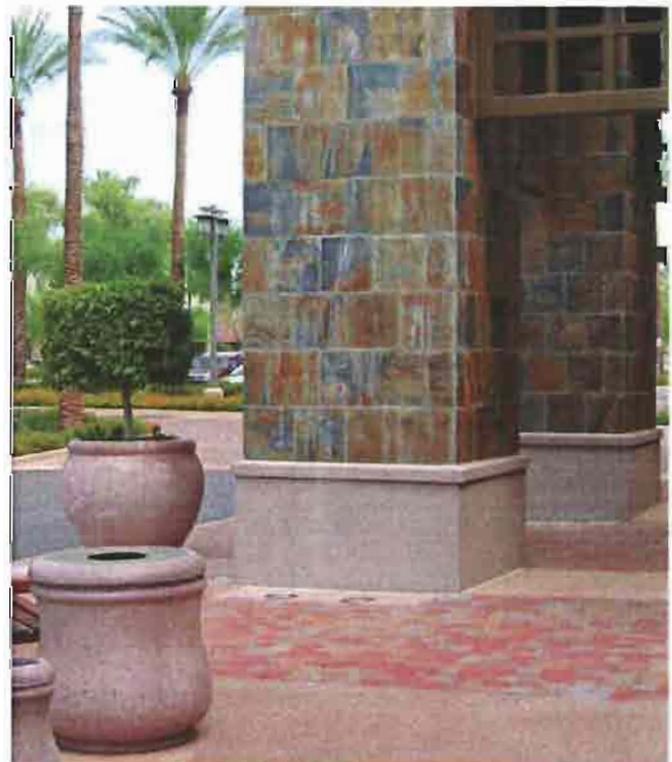
Walls with masonry and tile accents are proposed for some of the building finishes.

Combinations of textures and colors will be used. Typical locations for these materials will be entries to courtyards and buildings.

Natural slate tiles with plaster accents.



Precast concrete cladding with masonry.

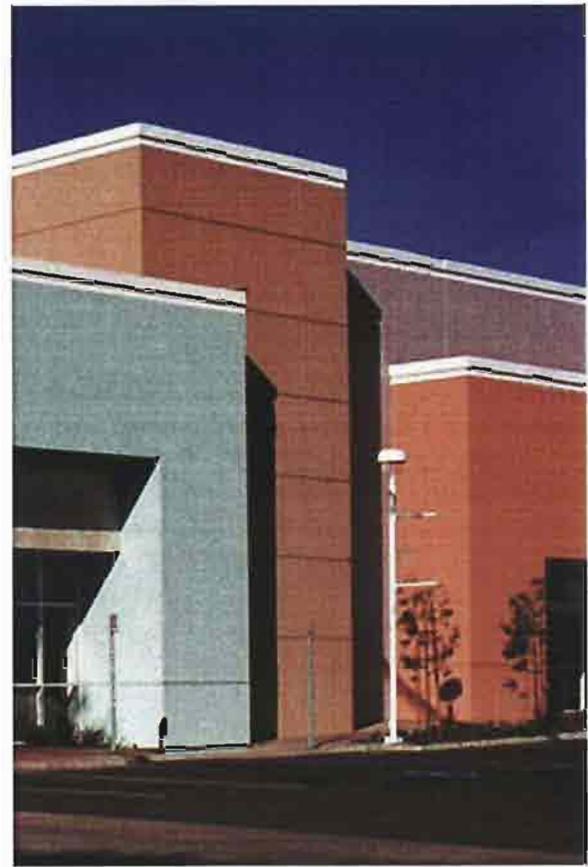




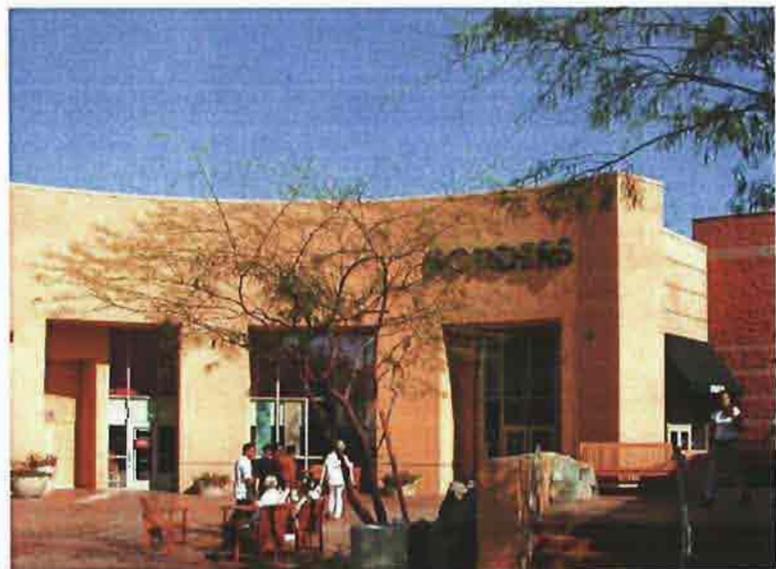
Frescos painted into architectural niches for added color and drama



Indian Wells Town Center
Design Guidelines



Plaster walls and details will be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience.



Planning Areas One & Four
Materials, Colors and Finishes • 4.1 – 18



Detailed awnings add architectural interest

A variety of awning designs can give individual emphasis to different retailers



Awnings provide shade and color



The creation of shade within the plazas and courtyards as well as along the building facades will be accomplished with combinations of:

- recessed openings
- deep overhangs
- awnings
- eyebrows
- trellis structures
- landscape
- free standing shade structures

Deep overhangs





Artist's conception of the proposed Retail Court with a large curvilinear shade structure. Because of the elevated position of the trellis, the upper balconies will be shaded as well as the courtyard below. Careful placement of the structure will allow for the creation of shade within the open courtyard and not interfere with the open sky placement of the trees.

The linear promenades through the parking lots will have vertical elements to give prominence and easy visibility while offering a shaded pathway through the use of both structured shade devices and trees.





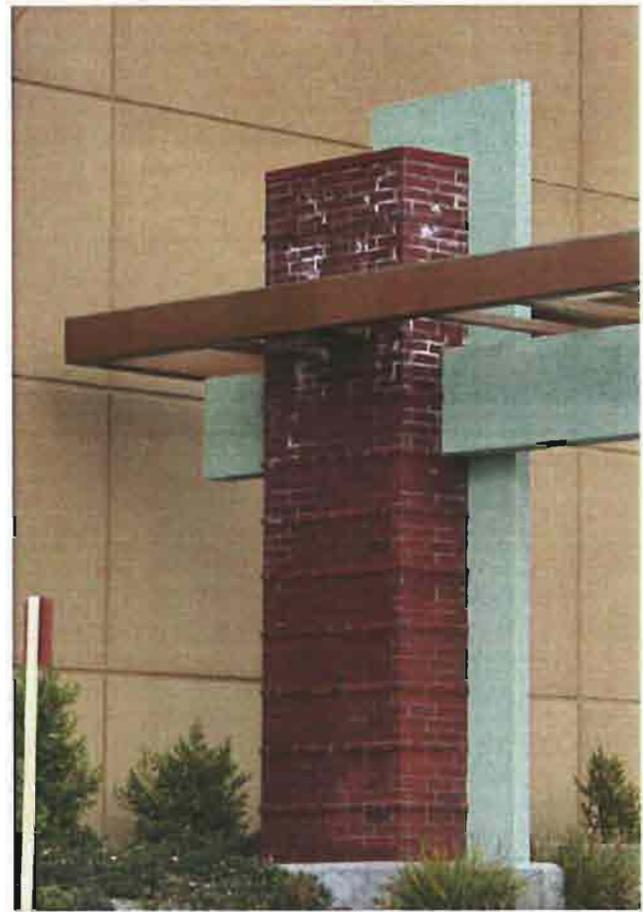
Combinations of covered colonnade below and trellis structure above.

Covered passageway



Indian Wells Town Center
Design Guidelines

Trellis marking the entrance
to a passageway



*Combination of
architectural feature
and landscape provide
shade to the
passageways*



Large scale overhead structures
will provide shade in the
passageways between buildings
and within the courtyards.

Planning Areas One & Four
Sun Control • 4.1 – 21

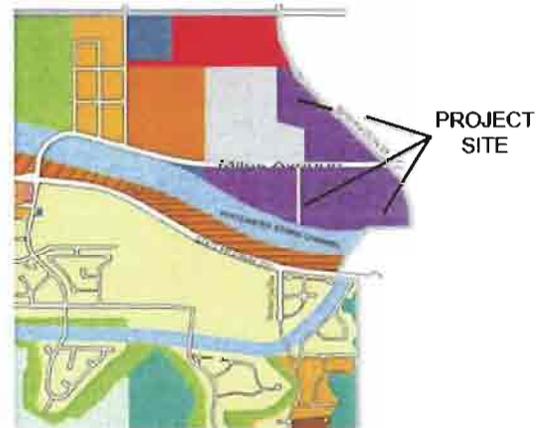


Linear canopy over a pedestrian gathering area

Distinctive canopies will mark areas such as valet parking stations and shuttle bus pick up. These structures will integrate the building materials, site lighting and canopies to form a complementary vocabulary to other site elements such as pathway lighting.



Columns and eyebrows on the buildings will complement the details of the free standing canopies



LAND USE LEGEND

RESIDENTIAL

- Very Low Density (1.0-3.0 du/ac)
- Low Density (3.1-4.5 du/ac)
- Medium Density (4.6-7.0 du/ac)
- Med. High Density (7.1-12.0 du/ac)

COMMERCIAL

- Professional Office
- Community Commercial

Proposed valet drop off canopy



Main entry canopy accents the building forms. Lighting fixtures and signage add visual interest



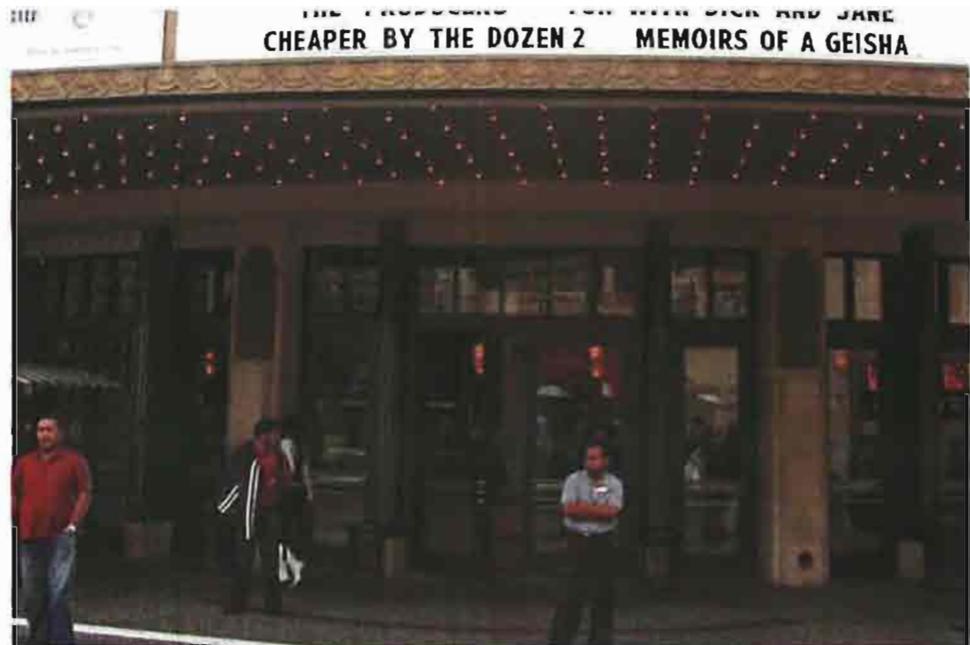
Linear structured eyebrow introduces contrasting color

The entry to the buildings will be punctuated by the use of canopies and structured eyebrows.



Linear trellis structure covers both entry doors and dining area

Deep canopy under the movie marquis affords shade and the built in lighting conveys a festive atmosphere





Decorative light pole bases and a system of trash and ash receptacles is a subtle detail that offers a strong thread of continuity to a design.

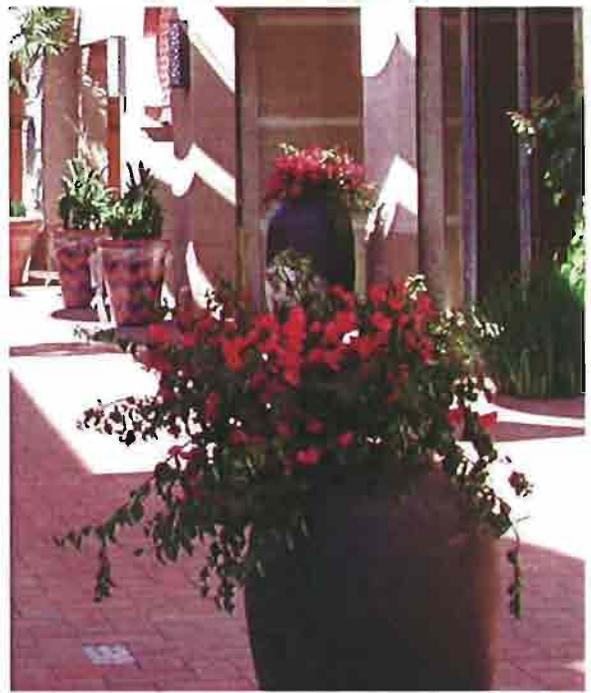
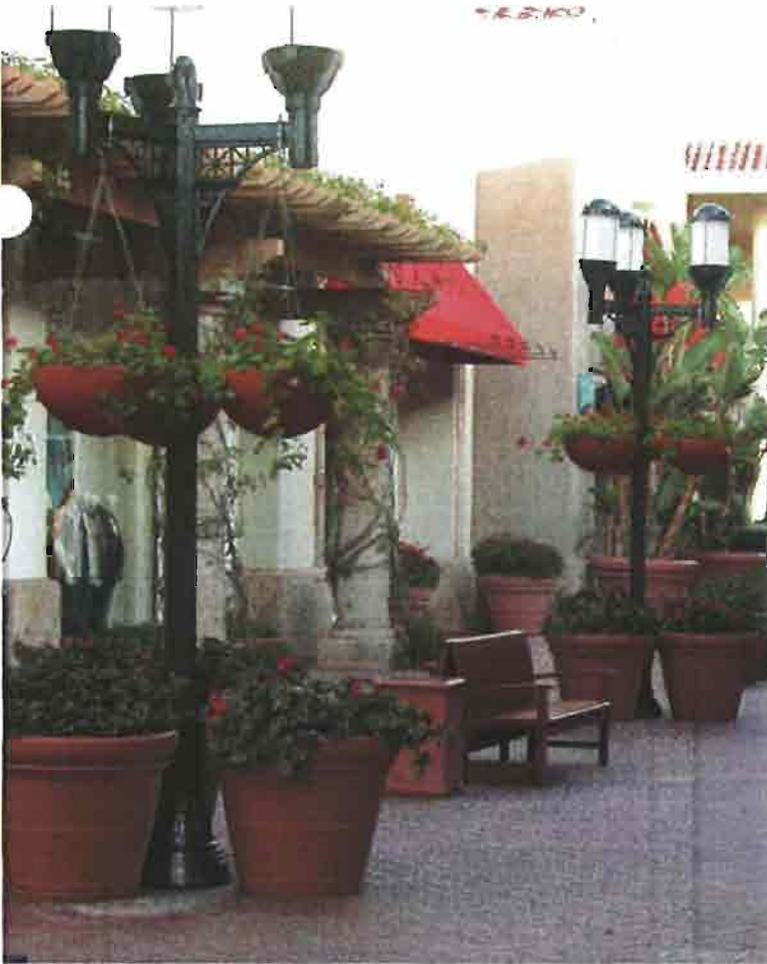
Retail carts bring a festive atmosphere to the plazas and courts. The cart will add color and sparkle to the area, and the vendors compliment the building tenants.

The unifying elements of a center are the site details. The details, when properly designed, will convey the sense of luxury and elegance that sets this development apart from other, similar types of centers.



The placement of comfortable benches and seating walls allows for the maximum enjoyment of the outdoor spaces. Heat tolerant materials are important for longevity and safety of the pedestrians. Decorative pots are key to a succesful thematic design.





Architectural pottery will be used to accent building entries, define spaces, separate seating areas, and add color through both the pot and the plantings.

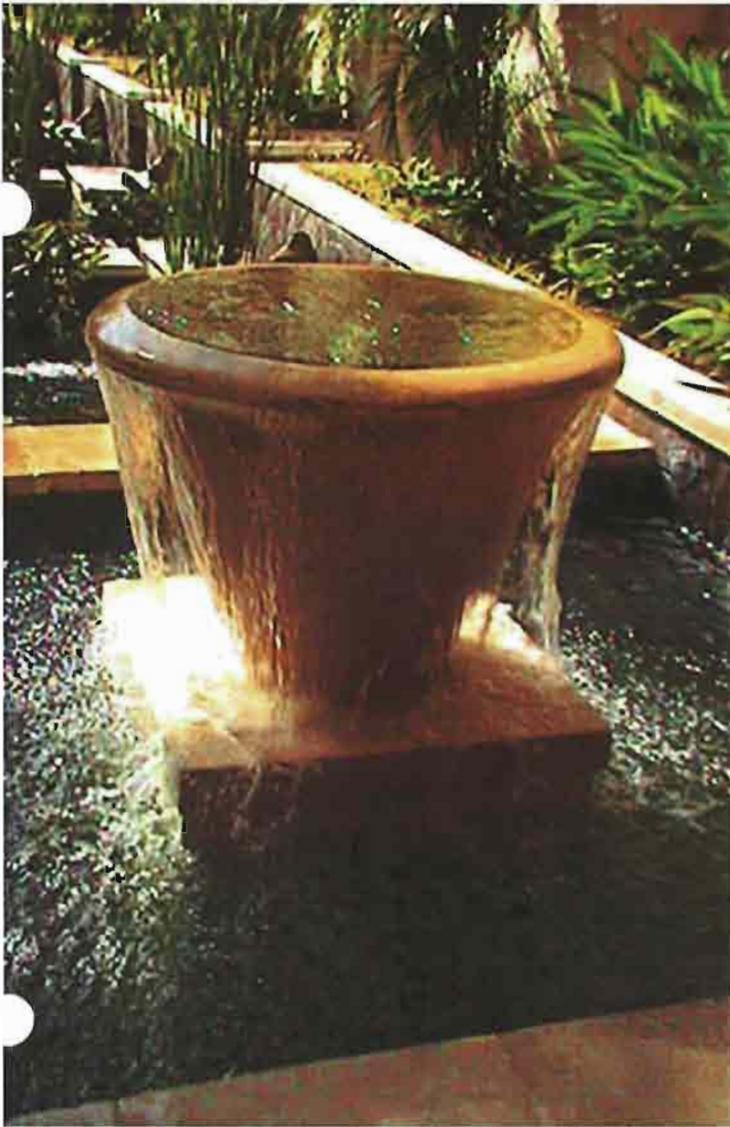
A diverse selection of pottery will complement the building elements and provide visual interest as you proceed through the project.





Transitions into pedestrian passageways as well as the transition from landscape to hardscape will be defined with curbs, low walls and pilasters. These elements will incorporate the building materials, provide seating, and create a foreground for the buildings in some locations.



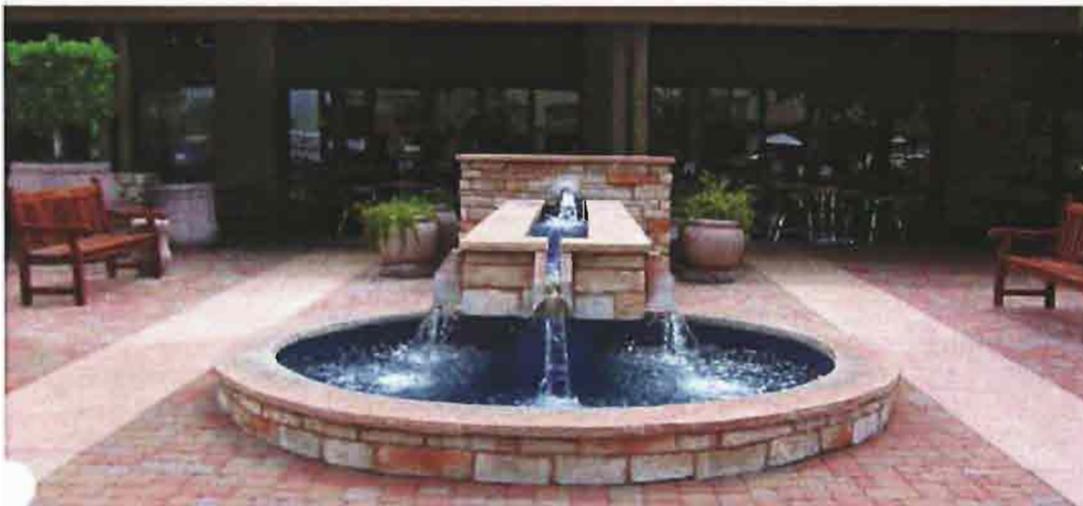


The use of water elements in the landscape and hardscape areas provides the sense of cooling as well as the background sound. A variety of water features will be proposed depending on the location, desired effect, and the available space. Environmental conditions such as the wind will limit the types of spray proposed on the larger fountain(s), and the layout will be designed to minimize evaporation.



Three examples of fountains that are all visually striking and provide a subtle background sound that allows for conversation by those sitting near.

Notice that this style of fountain usually has a raised seat edge that encourages close proximity by the pedestrian.





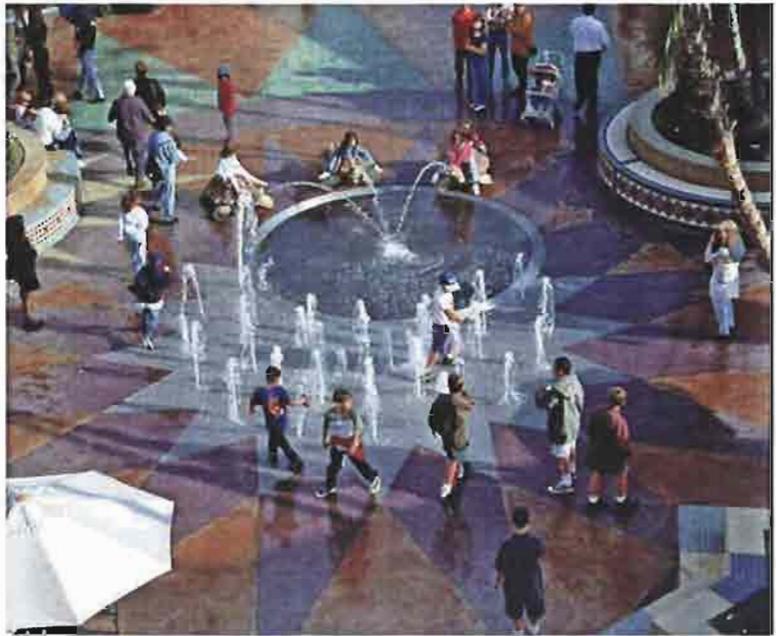
These three fountains are passive in design and afford a scale that makes them a focal point with a minimum amount of sound from the water.





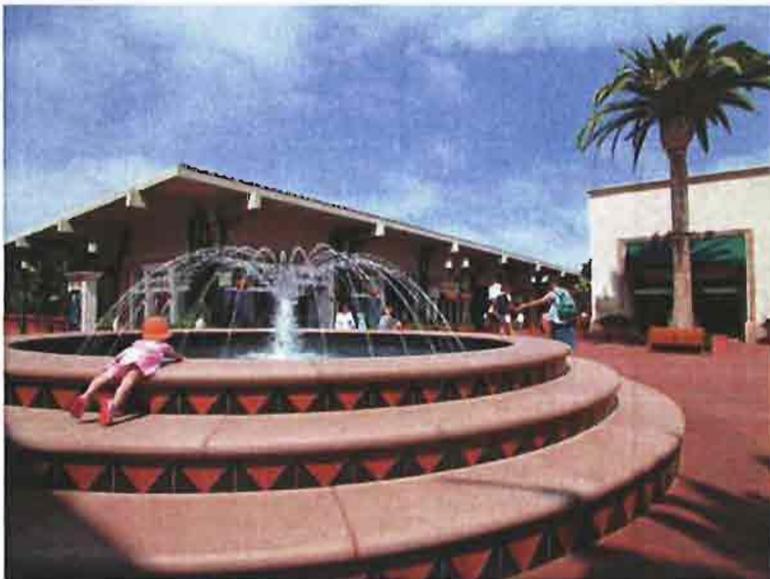
The three fountains shown here are all an extension of the landscape. These fountains are typically an accent feature and not a focal point. Sound may or may not be a factor in the use of these types of designs. Note that two of the fountains utilize the building materials within the landscape setting for design continuity.





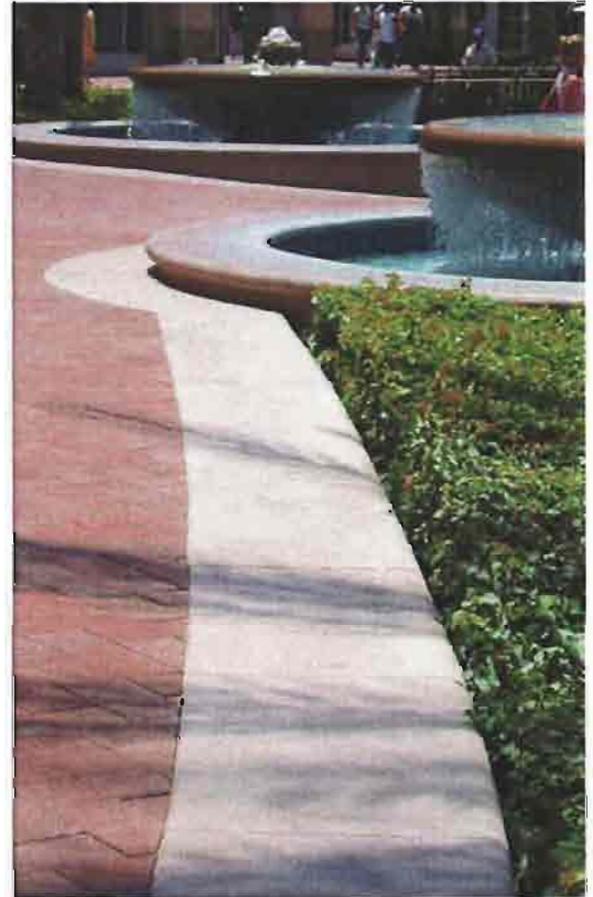
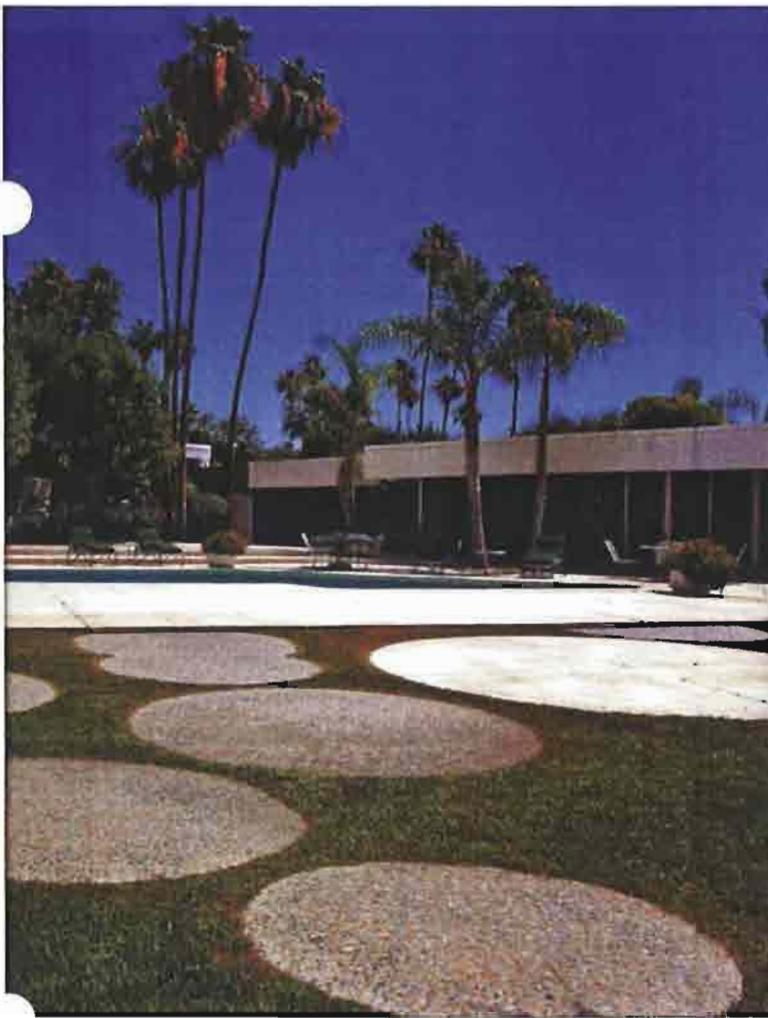
Shown here are interactive fountains.

The design of these attracts the pedestrian through movement, sound, play, or their desire to get wet. Typically these are larger scale overall, which as shown above does not require a large pool of water.





The quality of the pedestrian spaces is enhanced by well designed pavement. From the parking lot promenades to the linear edge along the main drive, to the courtyards, the colors, textures and materials of the hardscape will convey direction, luxury, and quality. The palette will include pavers, natural and colored concrete, natural stone and tile.



Details of the paving will reflect the use of curves in the architecture. The subtle use of texture as well as the bold use of shape will offer paving variety. Each of the plazas, courts and promenades will have a unique style, yet all share in common elements and materials that will unify the project. Colors will be muted with deeper tones where possible to minimize the glare from reflected light.



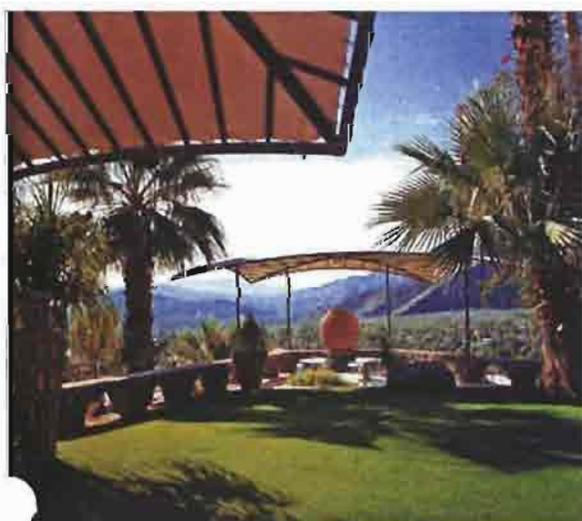
Table seating along linear paseos



Private seating court within the landscape areas



Throughout the project, the activity will center around gathering spaces. These spaces will vary from small to large, some informal, others formal. Many spaces will have a distinct purpose, such as a dining patio. Some of the spaces will be defined by the various events that will take place, not by the physical design. All share the need for shade, which will be provided by both structures and landscape.



Informal seating areas that utilize the circle to create either public or private space depending on if you face into the circle or away from the circle





The dining patios for the quick serve restaurants are within the plazas instead of adjacent to the plazas. The informal atmosphere is established through the umbrellas and furniture selection.

Outdoor dining allows enjoyment of both the adjacent courtyards and the mountain views. Patios will be designed for comfort with shade and water mist systems.



Private dining patios adjacent to the courtyard



Private dining patio screened with lush landscape and shade structures



Office building entries shall have defining elements such as canopies, colonnades, multistory facade elements, or recessed doors.





Suspended canopy

Supported canopy

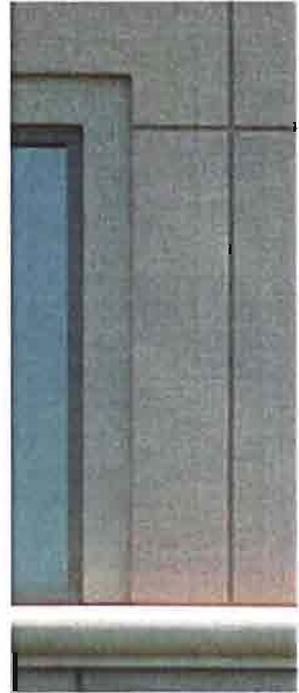


Integral canopy



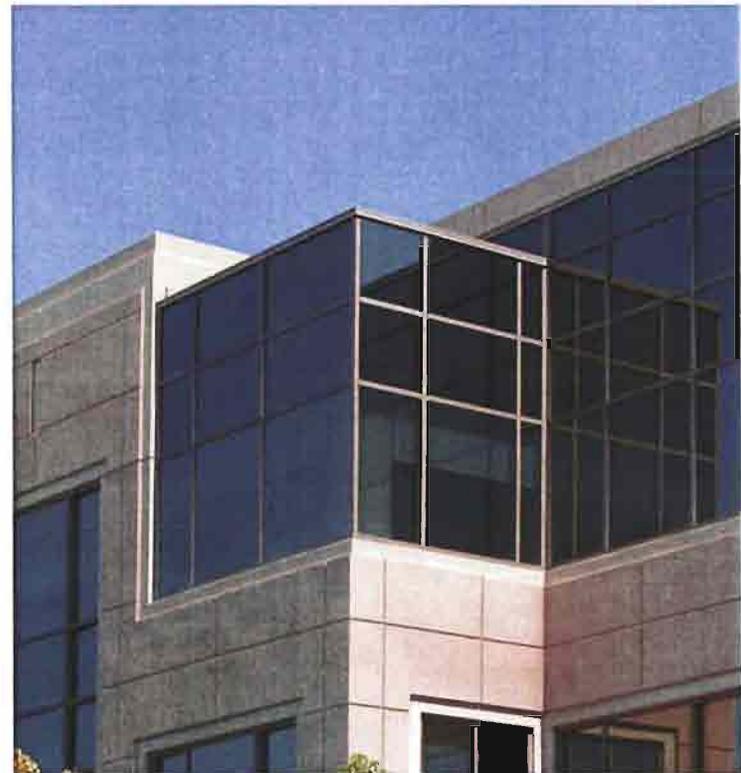
Recessed windows at the lower floor

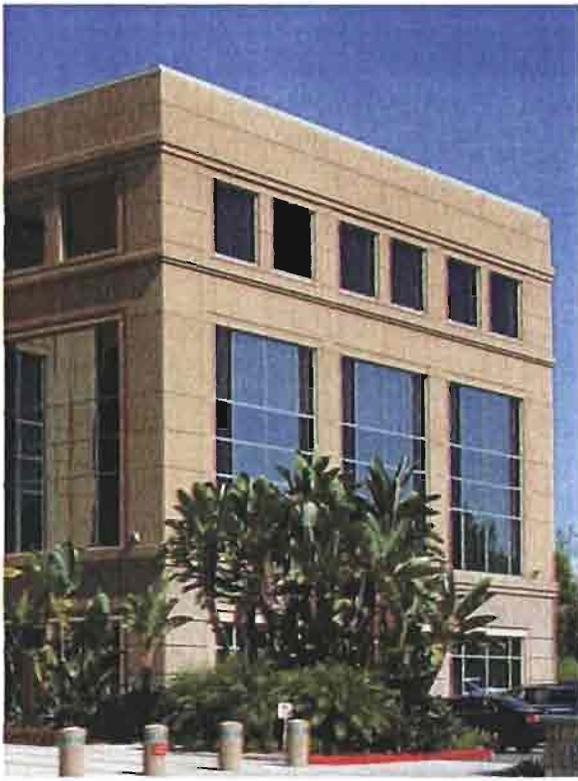
Reglets, screeds and sills are used to create order within the openings



Curtain wall at upper windows provides a visual break to the perceived massing of the building

Detailing at the windows will help to change the perceived scale of the building. Screed lines can visually align different elements. Lower windows can be recessed to achieve shadow lines. Glazed corners can change the appearance of corners from heavy and solid to open and lighten the mass of the building.



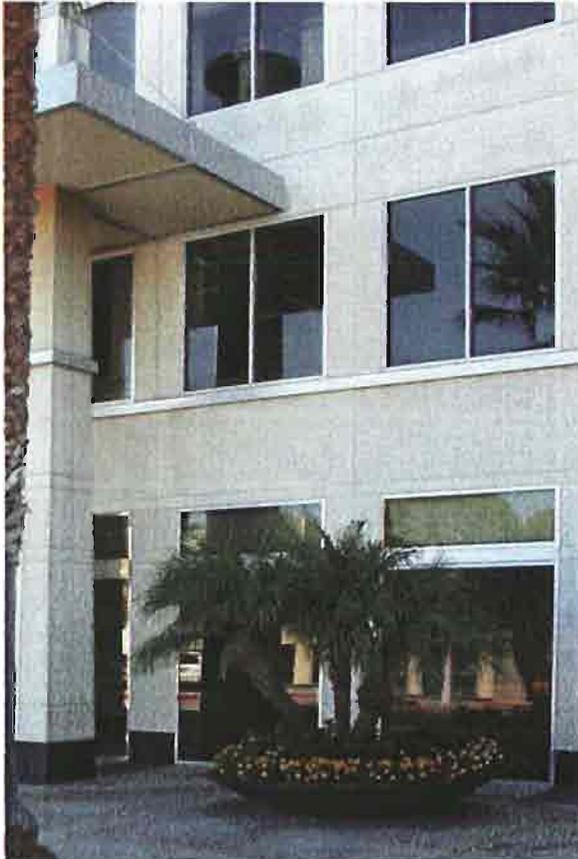


Middle floors combined

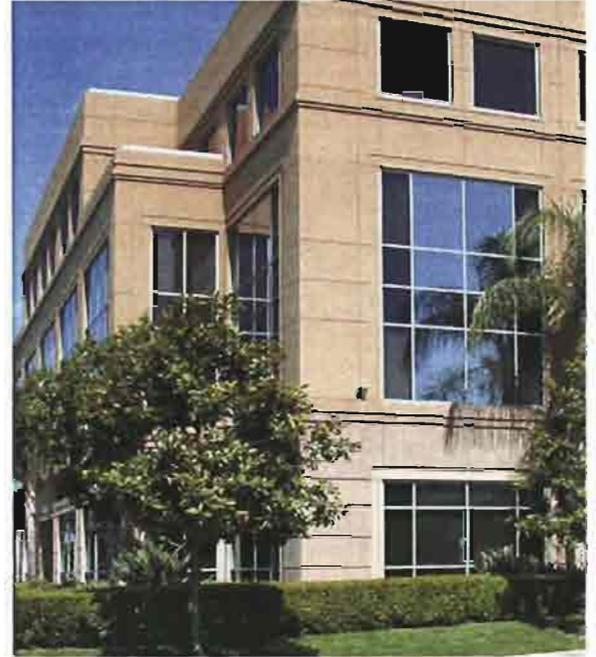


Lower floors grouped

Two story canopy

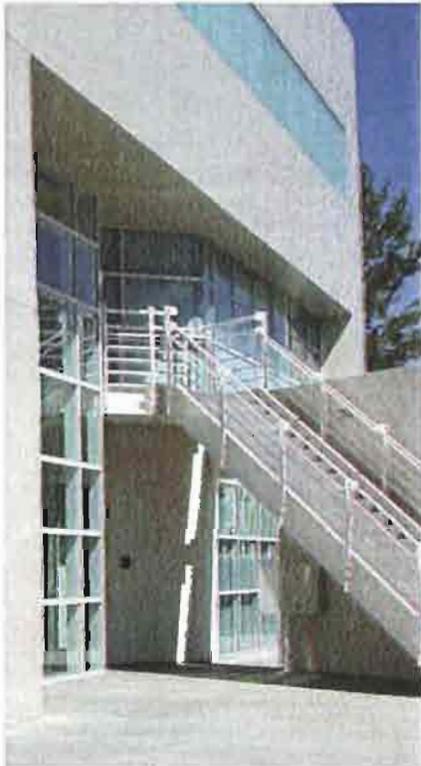


By manipulating the elements on the facade, such as window groupings and canopy heights, floors can be visually combined on the exterior to create the appearance of lower buildings.

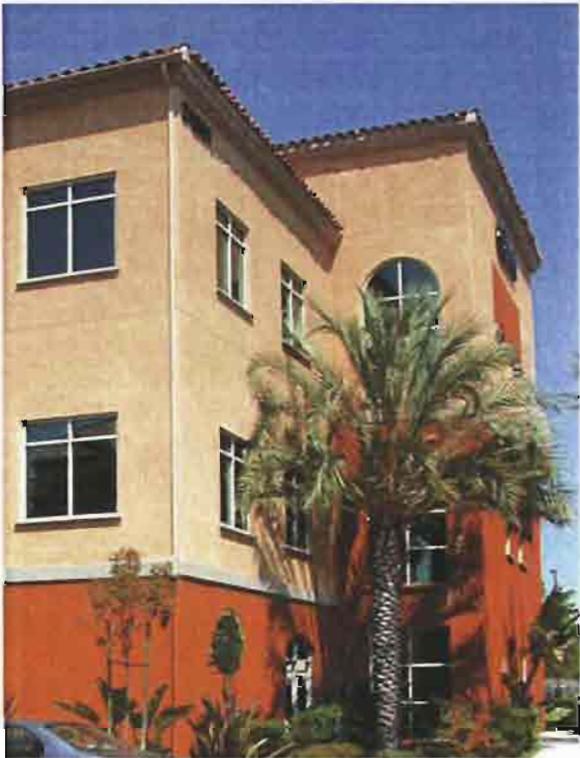


Articulation of the base, middle and top of the buildings will create visual interest. This classic application can be contemporized with the use of curtain walls to add visual interest to the taller facades.

Design elements such as exterior stairs, rounded tower elements and balconies can define entry points, enhance a theme, and provide a break in the massing.



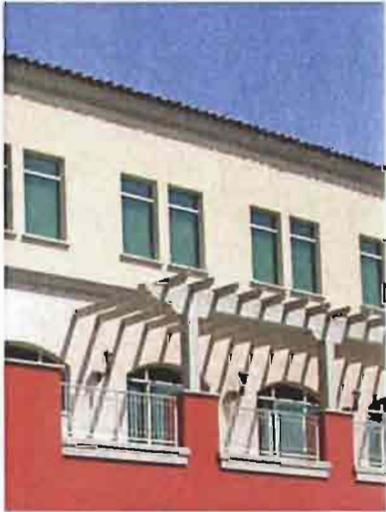
Exterior stairway



Articulated entry element



Rounded entry tower



Balcony with shade structure



Site and building elements can have common detailing to articulate a path of travel, enhance the entry, and unify the design.



FIELD COLORS



DE 5183
Light Carob



DE 5184
Brilliant Beige



DE 5185
Cedarville



DE 5186
Secluded Canyon



DE 5259
Blanched Almond



DE 5260
Sandy Beach



DE 5261
Cashew Nut



DE 5262
Field of Wheat



DE 5263
Sonora Shade



DE 5274
Candlestick Point



DE 5275
Peach Smoothie



DE 5276
Dreams of Peach



DE 5277
Amber Dawn



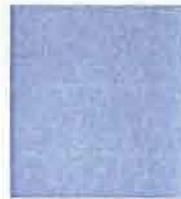
DE 5278
Roasted Squash



DE 5882
Harbor Afternoon



DE 5883
Drenched Rain



DE 5884
Misted Eve



DE 5885
Denim Tradition



DE 6113
Alpaca Wool



DE 6114
Dry Dune



DE 6115
Practical Tan



DE 6116
Dover Plains

Note - refer to Design Guideline exhibits for roof tile and stone colors. All paint colors are based on Dunn-Edwards Paints.

ACCENT COLORS



Weathered
Copper



DE 5958
Purple Potion

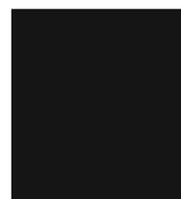
ACCENT COLORS



DE 5957
Princely Violet



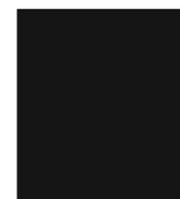
DE 5712
Stately Stems



DE 5713
Pine Haven



DE 5019
Rosewine



DE 5020
Mahogany Cherry

Design Guidelines Planning Area Two

4.2 Resort Hotel and Spa

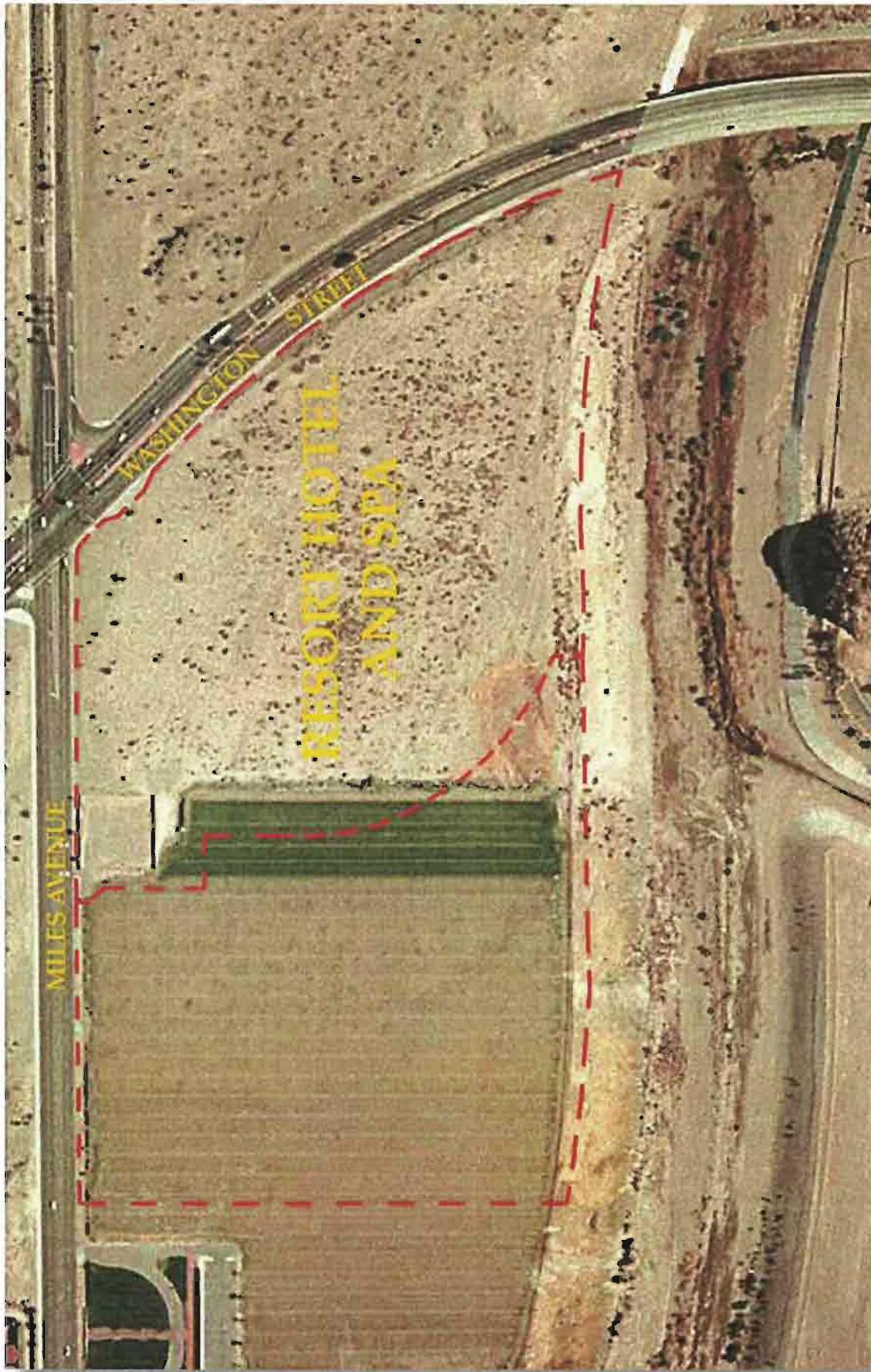
Architectural Design Guidelines..... 4.2 - 1
Aerial Photo of Existing Conditions..... 4.2 - 2
Phase One Site Plan 4.2 - 3
Phase Two Site Plan 4.2 - 4
Concept Design Renderings..... 4.2 - 5
Exterior Materials 4.2 - 8
Accent Materials 4.2 - 9
Exterior Design..... 4.2 - 10
Public Spaces 4.2 - 11
Terraces 4.2 - 13
Leisure Areas 4.2 - 14

Architectural Design Guidelines

The resort hotel shall maintain a theme carried out by quality materials and imaginative design consistent with these Design Guidelines. Building design shall be unique to the site in that the configuration should take advantage of and preserve surrounding vistas and recreation areas shall be consistent with the resort quality of the hotel. Luxury shall be the theme of both building and landscape design.

The following Architectural elements shall be incorporated into the building design to increase building articulation:

1. The building shall have varying plate heights and staggered floor plates that create a layered roofline and helps to minimize the massing at the entry elevation.
2. Horizontal and vertical building offsets, and elements such as balconies shall be incorporated to create visual interest.
3. Rich building materials and colors that compliment the desert setting shall be incorporated into the design.
4. Shading elements, such as trellis structures, gazebos, deep overhangs and covered patios shall be incorporated into the design of the plazas, courtyards and public gathering spaces. Lush landscaping will compliment the shade structures.
5. Throughout the resort, the activity will center around gathering spaces. These spaces will vary from small to large, some informal, others formal. Many spaces will have a distinct purpose, such as a dining patio. Some of the spaces will be defined by the various events that will take place, not by the physical design.
6. Wayfinding shall be enhanced by the use of building and landscape elements. Pathways connecting the various outdoor venues will be identified with curbs, planter and seat walls, pilasters. Accent plantings will mark the entry points and thematic plantings will strengthen route.



Aerial view of the existing site

MILES AVENUE

GROUND FLOOR RESORT HOTEL & SPA

1. FRONT OFFICE
2. FRONT DESK
3. LOBBY
4. LOUNGE
5. RESTAURANT
6. PHASE ONE LOWER LEVEL DELIVERY
7. SPA - 20,000 - 24,000 SF 2 STORY
8. BALLROOM/RESTAURANT

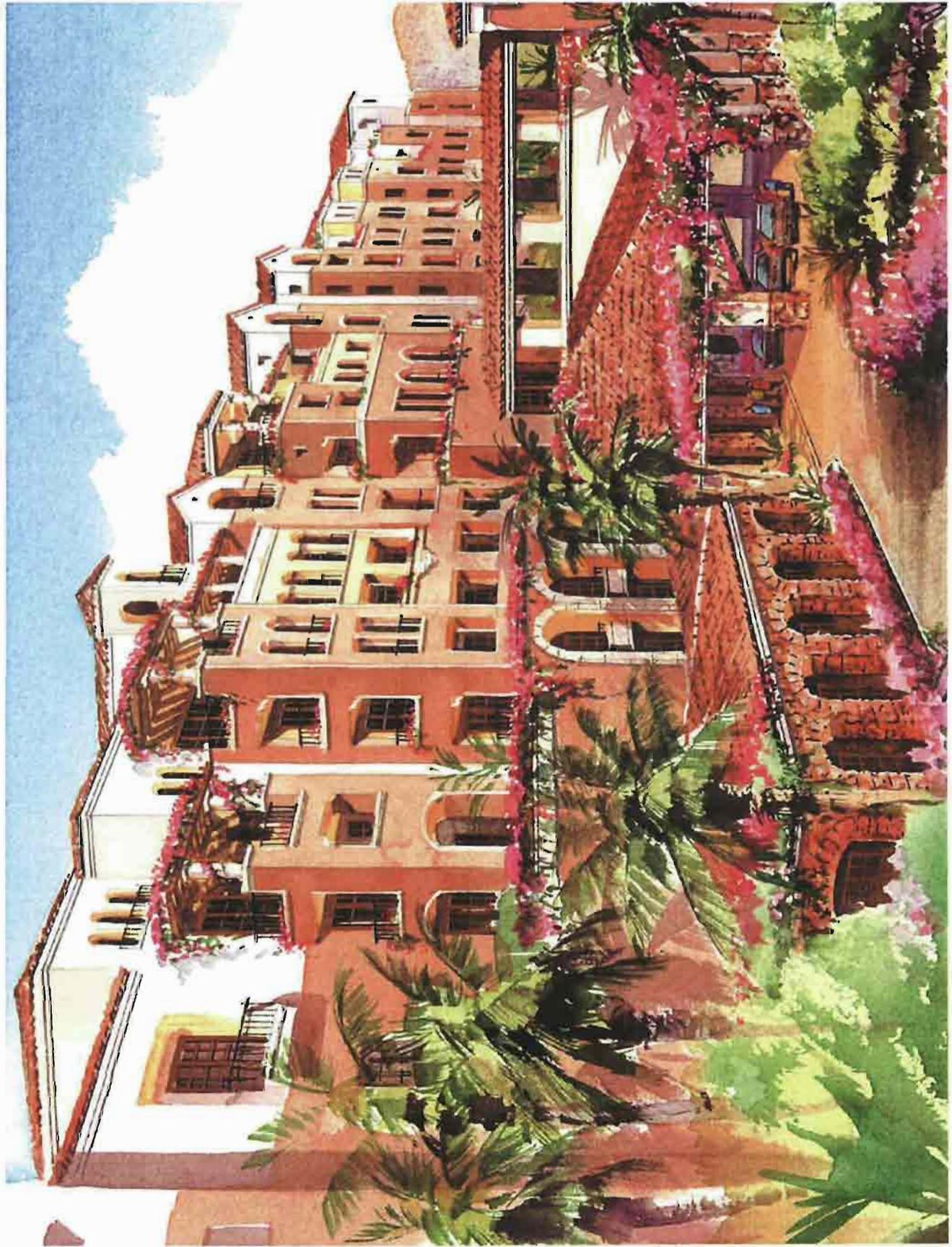


Resort Hotel Phase One
Indian Wells Town Center



Tommy Spaulding

Looking South into the Porte-Cochere of the Resort Hotel



Looking North to the Resort Entry



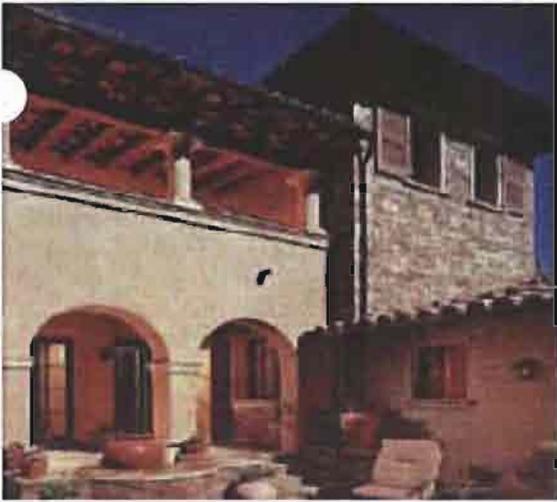
Signature

Resort Hotel Miles Avenue Entry

Rich building materials and colors that compliment the desert setting will be incorporated into the design. The exterior of the hotel will be a combination of plaster, stone, glass and various accent materials such as precast concrete, feature windows and tile.

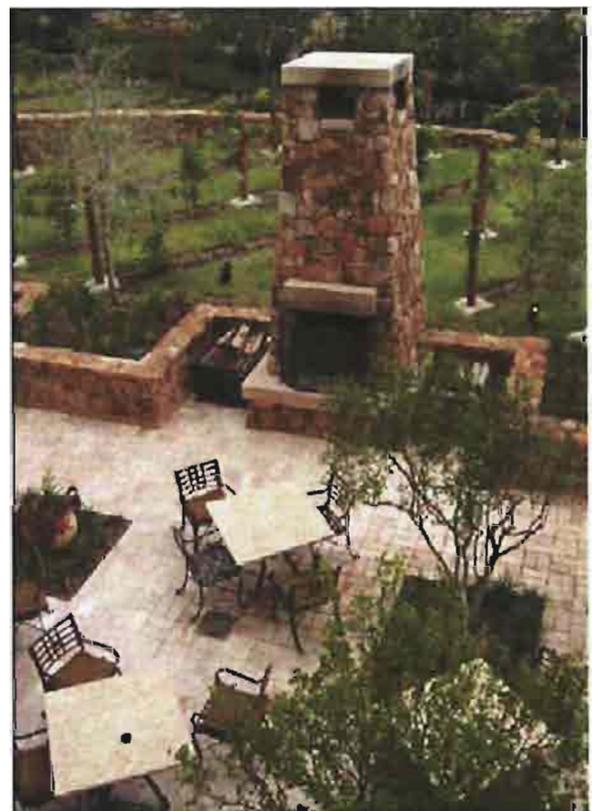


Stepped terraces adjacent to the major interior public spaces



The interface of the building and the grounds will incorporate the same materials. Stone will be one of the accent materials both indoors and out. The stone will range from slab materials such as granite, limestone and marble to stacked ledger stone, both grouted and ungrouted.

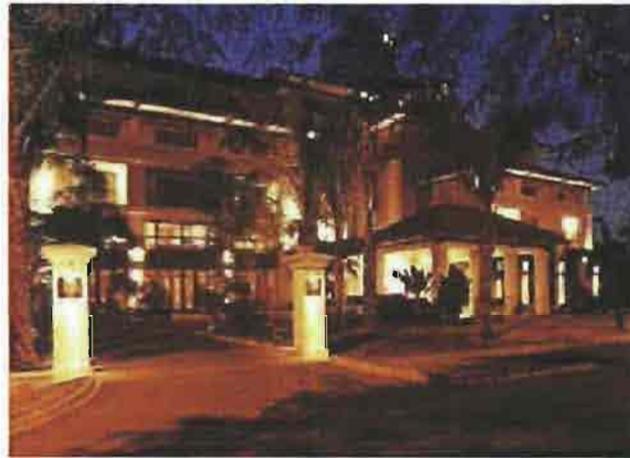
Low planter walls, seat walls, elegant porticos, outdoor rooms, all will offer the luxury characteristics of the public spaces within the resort.



The building shall have varying plate heights and staggered floor plates that create a layered roofline and helps to minimize the massing at the entry elevation.



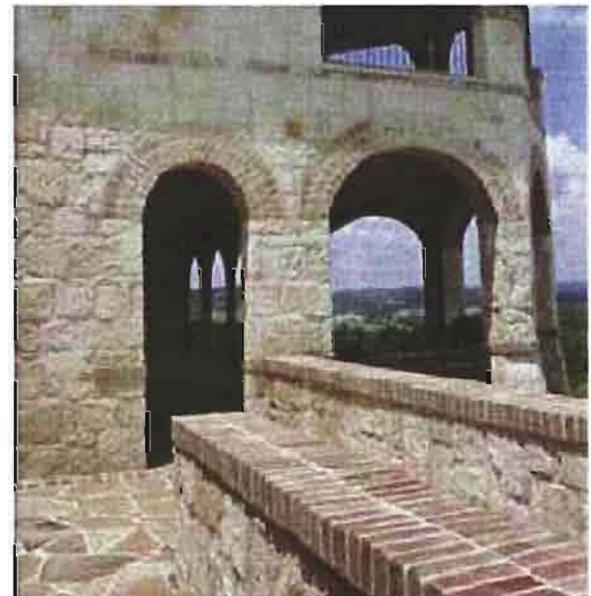
The exterior design will be enhanced by the various layers of the elevations.

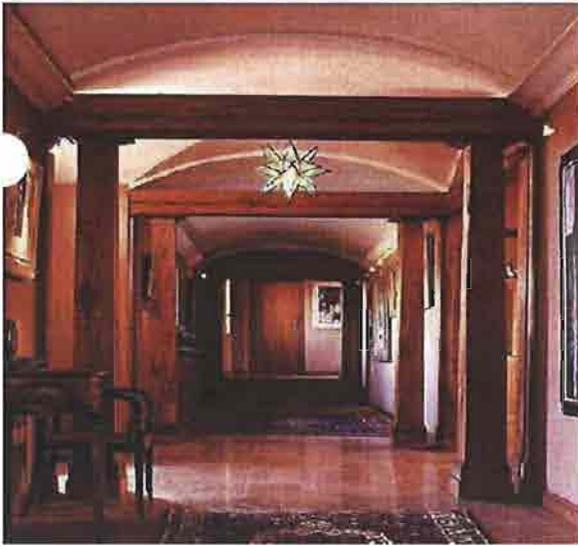


The soft glow of controlled lighting will extend the luxury atmosphere into the evenings.

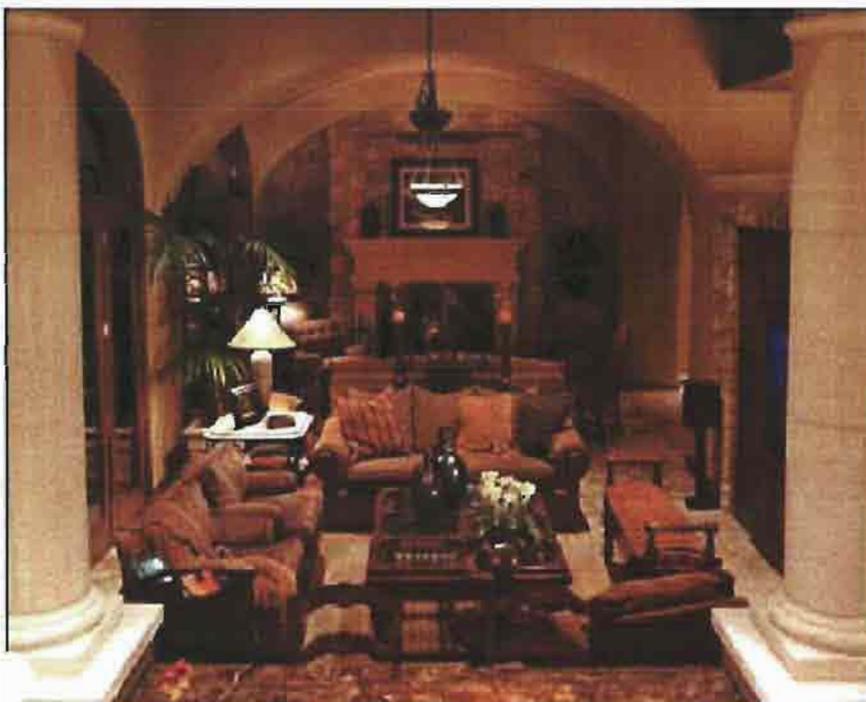


Personal spaces will be defined by landscape, small courts, and site amenities such as gazebos.

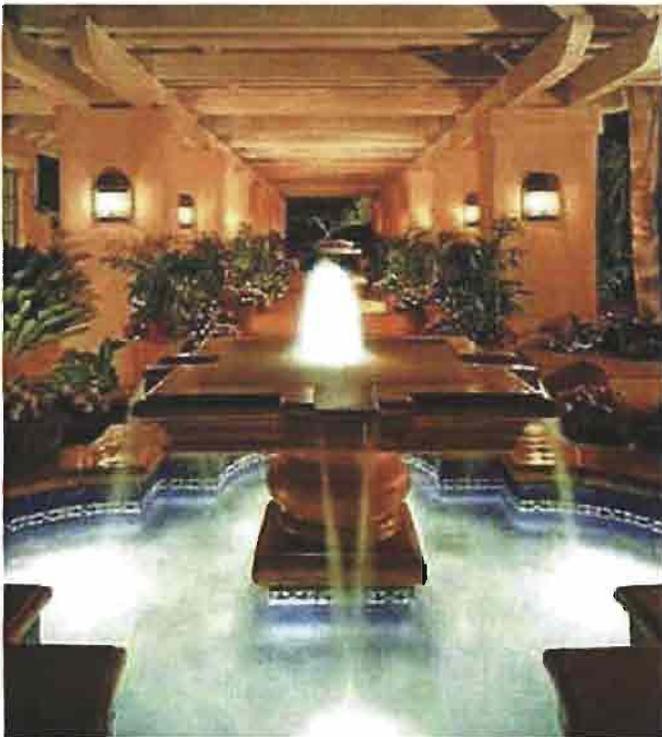
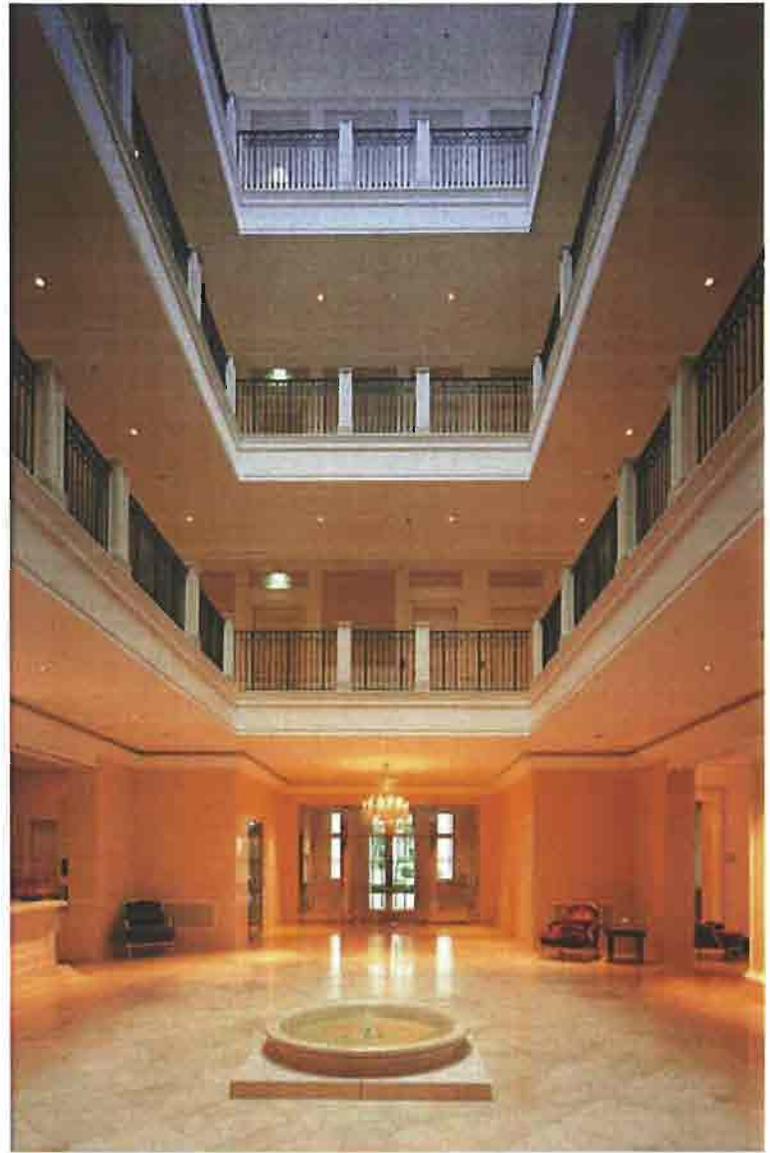
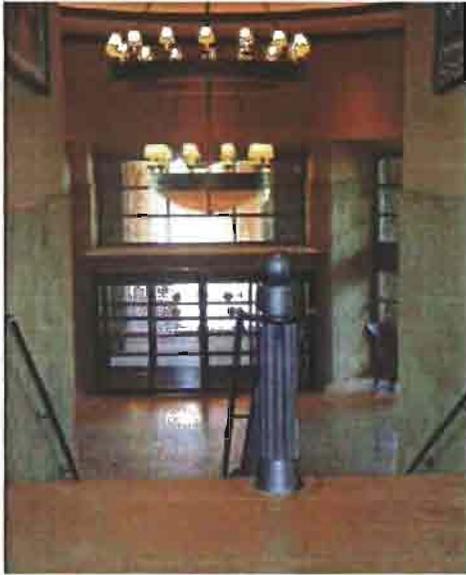




A palette of rich materials – wood, stone and plaster will define the interior public spaces.

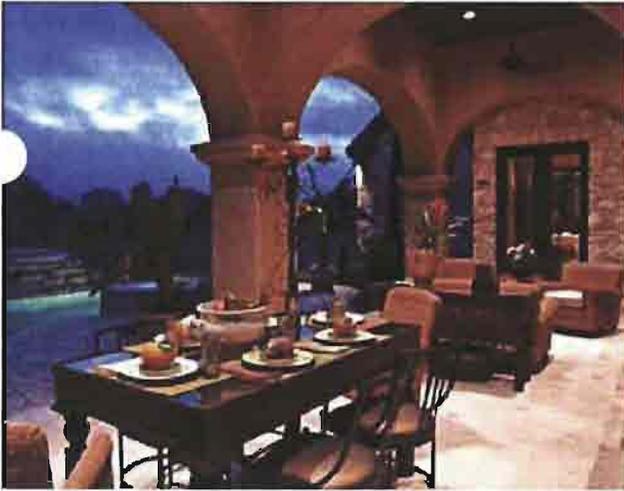


Views of the resort and the surrounding mountains will be the focal point of many of the interior public spaces.

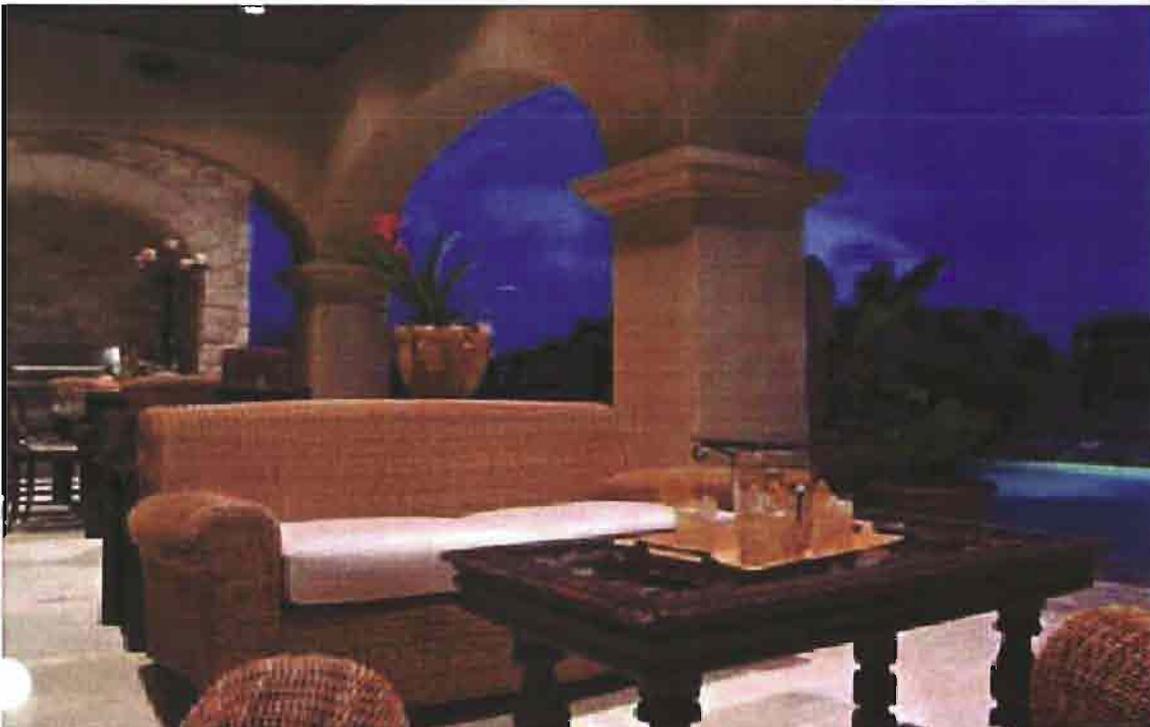
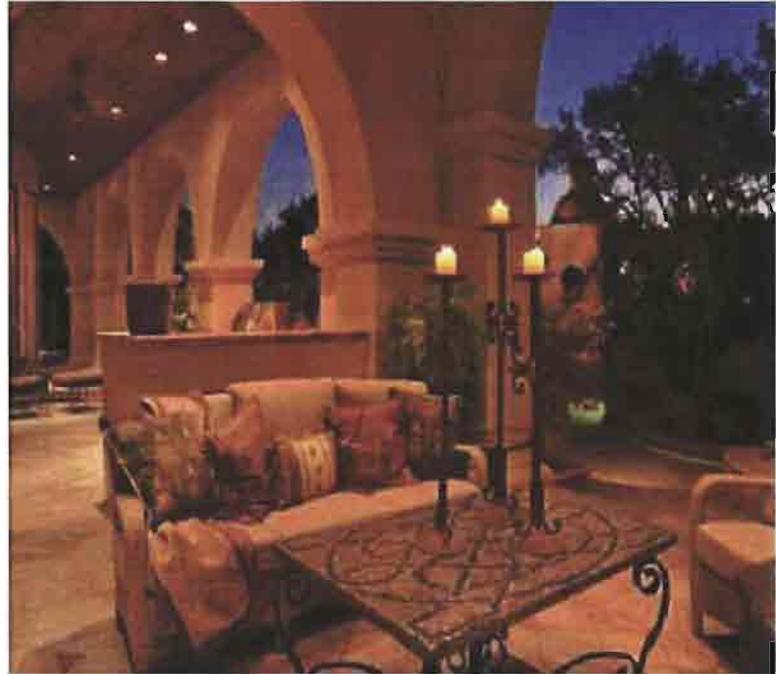
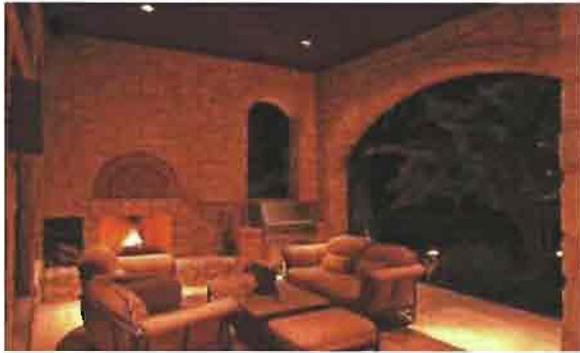


Interior fountains and landscape will add to the resort ambiance

The variety of public spaces will share in the luxurious design and materials.



The public terraces will be situated to take advantage of the views of the resort leisure areas as well as the mountains surrounding the valley. It is anticipated to have terraces for public living room spaces, lounge areas and dining. The indoor/outdoor spaces will be available year around.





Adult pool area



Private cabañas adjacent to the pools

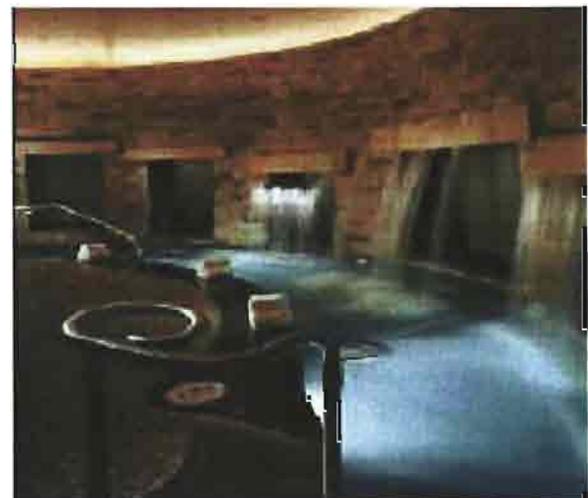
The desert lifestyle will be enjoyed at the various leisure areas of the resort. Separate family and adult courtyards will feature various pools and whirlpools. In addition to the pools the resort will offer:

- chipping and putting greens,
- poolside bar and food service,
- kid's club,
- golf and tennis pro shops
- firepits throughout the complex.





A key amenity of the resort is the full-service spa and wellness center. The spa will feature indoor and outdoor treatment rooms with a secluded terrace exclusively for spa patrons. The wellness center will feature the latest fitness equipment and floor exercise programs. Convenient access to the spa from the guest room floors is a part of this luxurious experience.



Design Guidelines Planning Area Three

4.3 Resort Residential

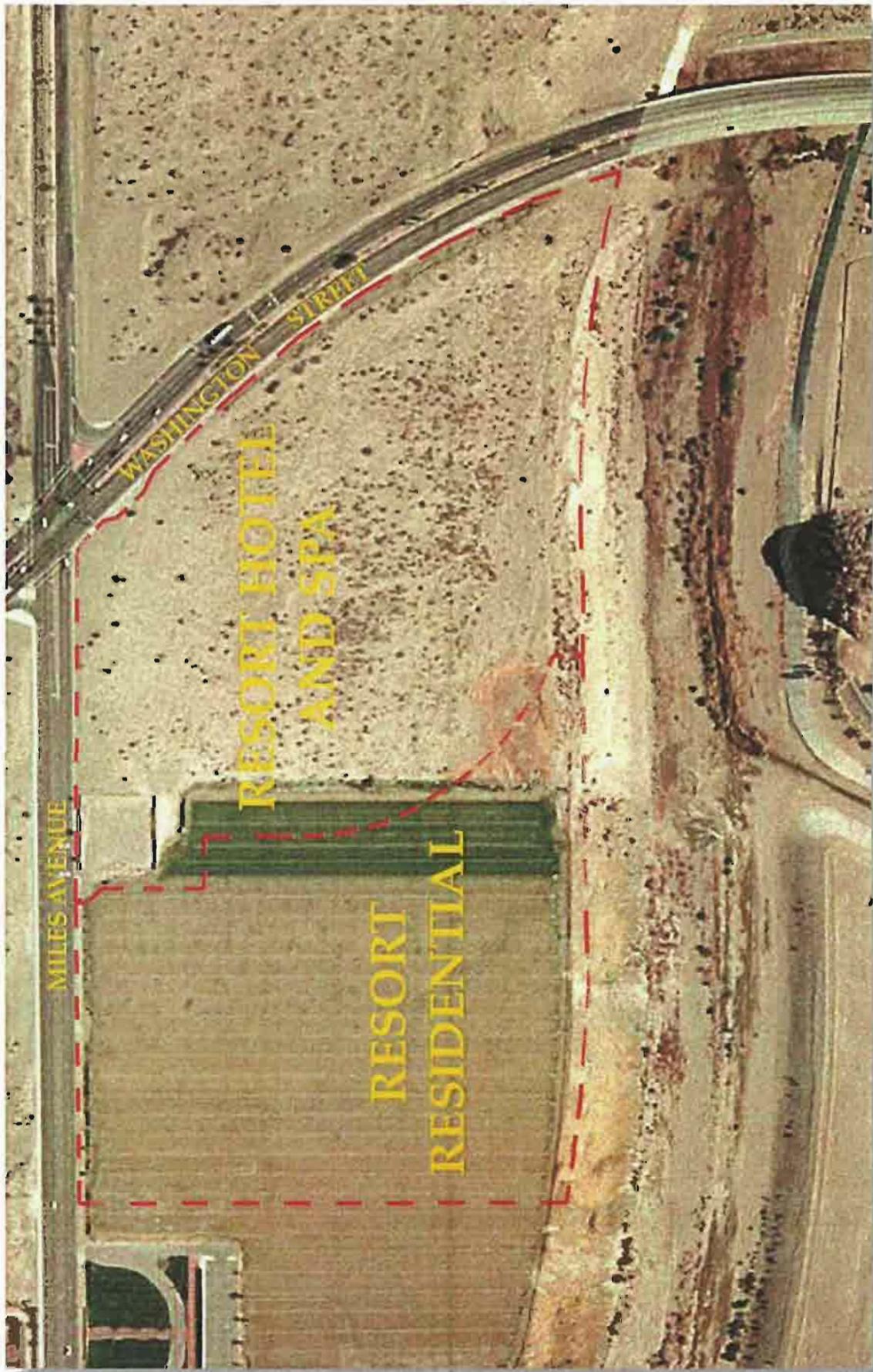
Architectural Design Guidelines	4.3 - 1
Aerial Photo of Existing Conditions	4.3 - 2
Site Plan	4.3 - 3
Conceptual Street Scene and Site Section	4.3 - 4
Conceptual Design Elevations	4.3 - 5
Materials, Colors and Finishes	4.3 - 8
Fenestration	4.3 - 9
Architectural Details	4.3 - 10
Indoor/Outdoor Living	4.3 - 11
Courtyards	4.3 - 12
Courtyard Amenities	4.3 - 13
Outdoor Spaces	4.3 - 14

Architectural Design Guidelines

The architectural theme of the resort homes will be derived from the style of the resort hotel. The style will match in detailing, colors and materials. Due to the relationship of the homes to the resort as potential rental properties, the detailing and finishes will be comensurate with the quality and luxury of the hotel.

The following Architectural elements shall be incorporaed into the building design to increase building articulation:

1. The building shall have varying plate heights that create a layered roofline and helps to minimize the massing.
2. Rich building materials and colors that complimant the desert setting shall be incorporated into the design. Walls will be a combination of plaster and stone with deeper earth tones.
3. Clay tile roofs will be similar to the resort hotel, and the details will be in plaster, precast concrete and wood.
4. Shading elements, such as trellis structures, deep overhangs and covered patios shall be incorporated into the design of the patios and courtyards.
5. Recessed openings, detailed headers, arched colonnades will be used on the homes.
6. Variety in the detailing will achieve the custom feeling of the residences. The use of stone, masonry, precast columns and trim will convey the architectural theme.



Aerial view of the existing site



PLANNING AREA 3
RESORT RESIDENTIAL
 65 LOTS



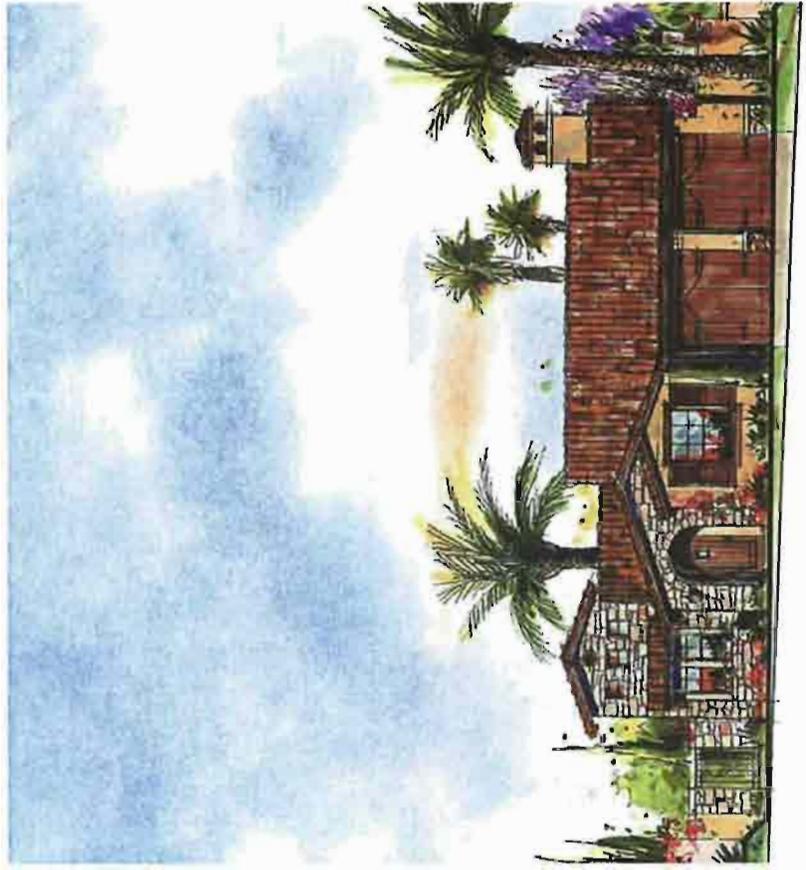
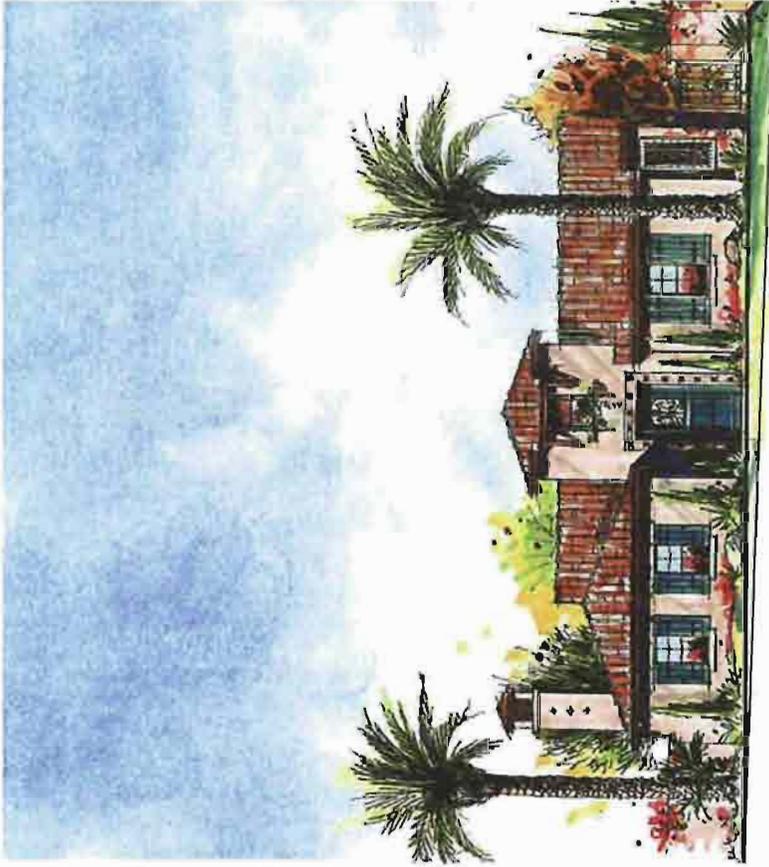
View of Street Scene

Conceptual Street Scene



Site Section (North to South)

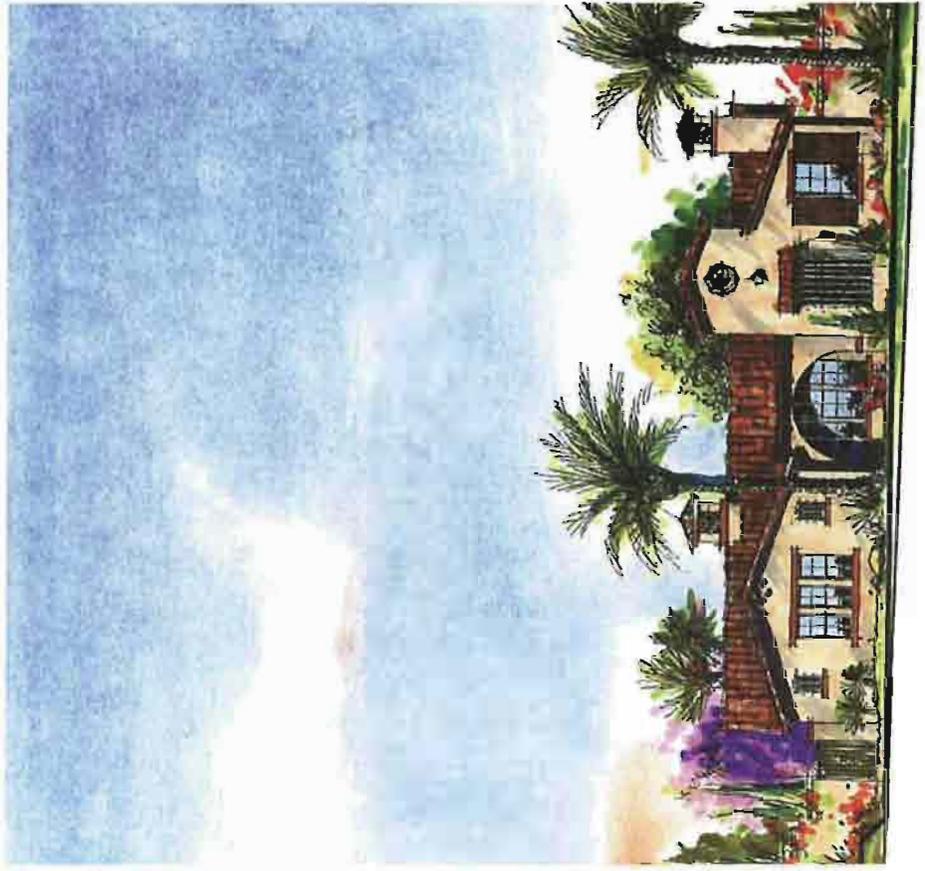
Typical Site Section Showing the Terraced Site Design



Conceptual Design of Street Elevations

Conceptual Design of Street Elevations





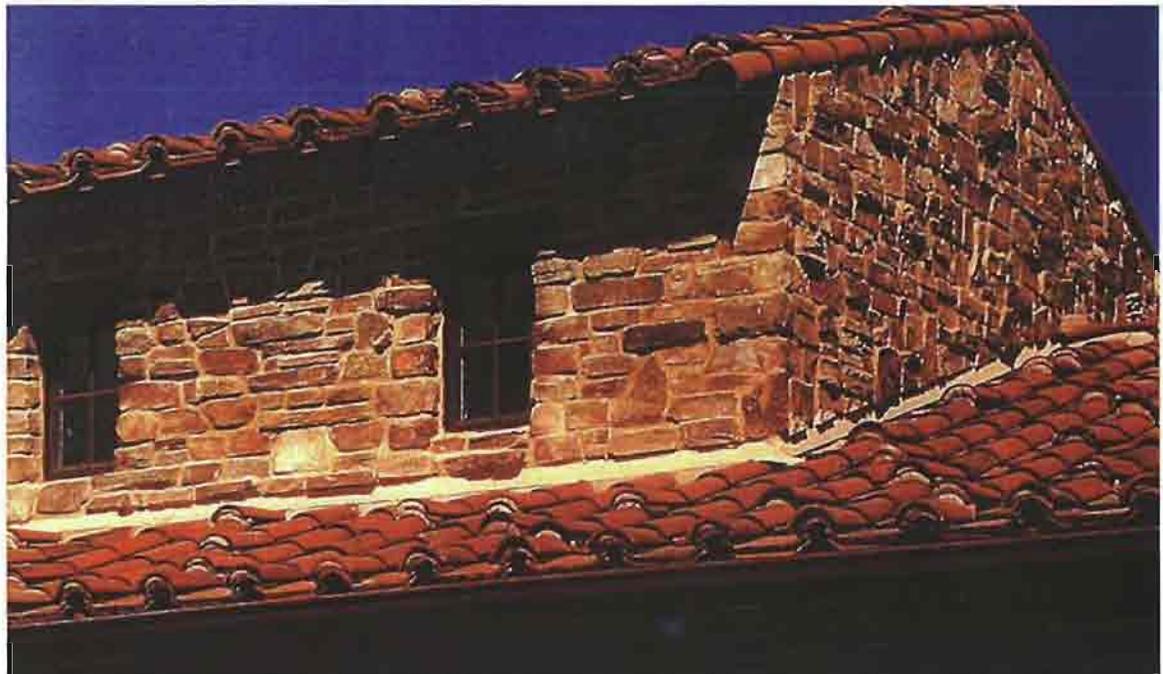
Conceptual Design of Street Elevations

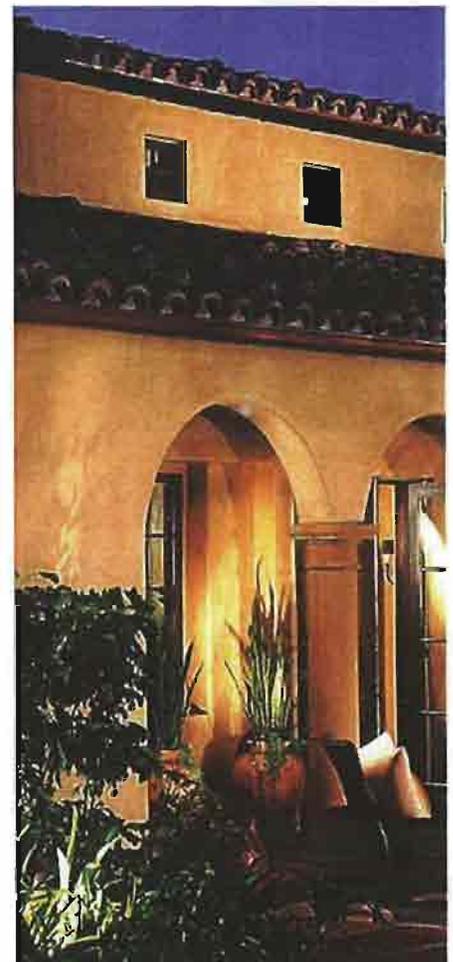
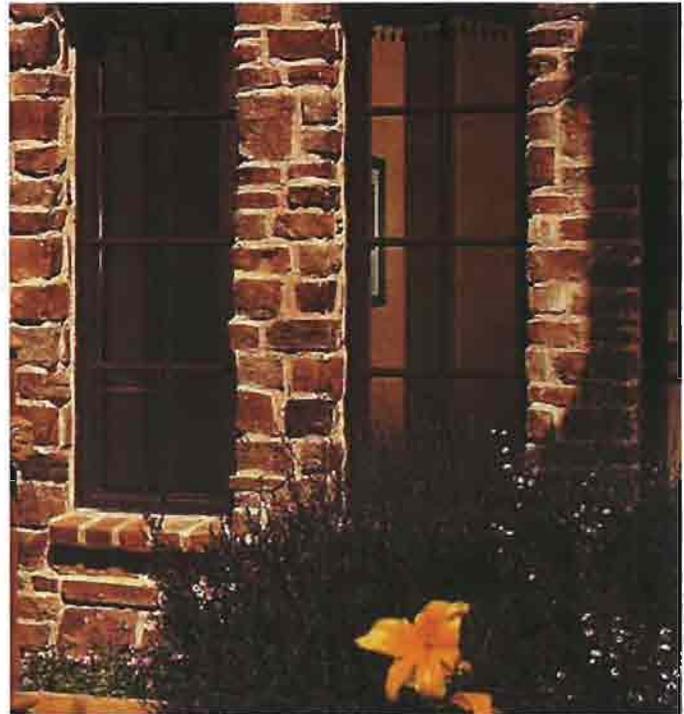
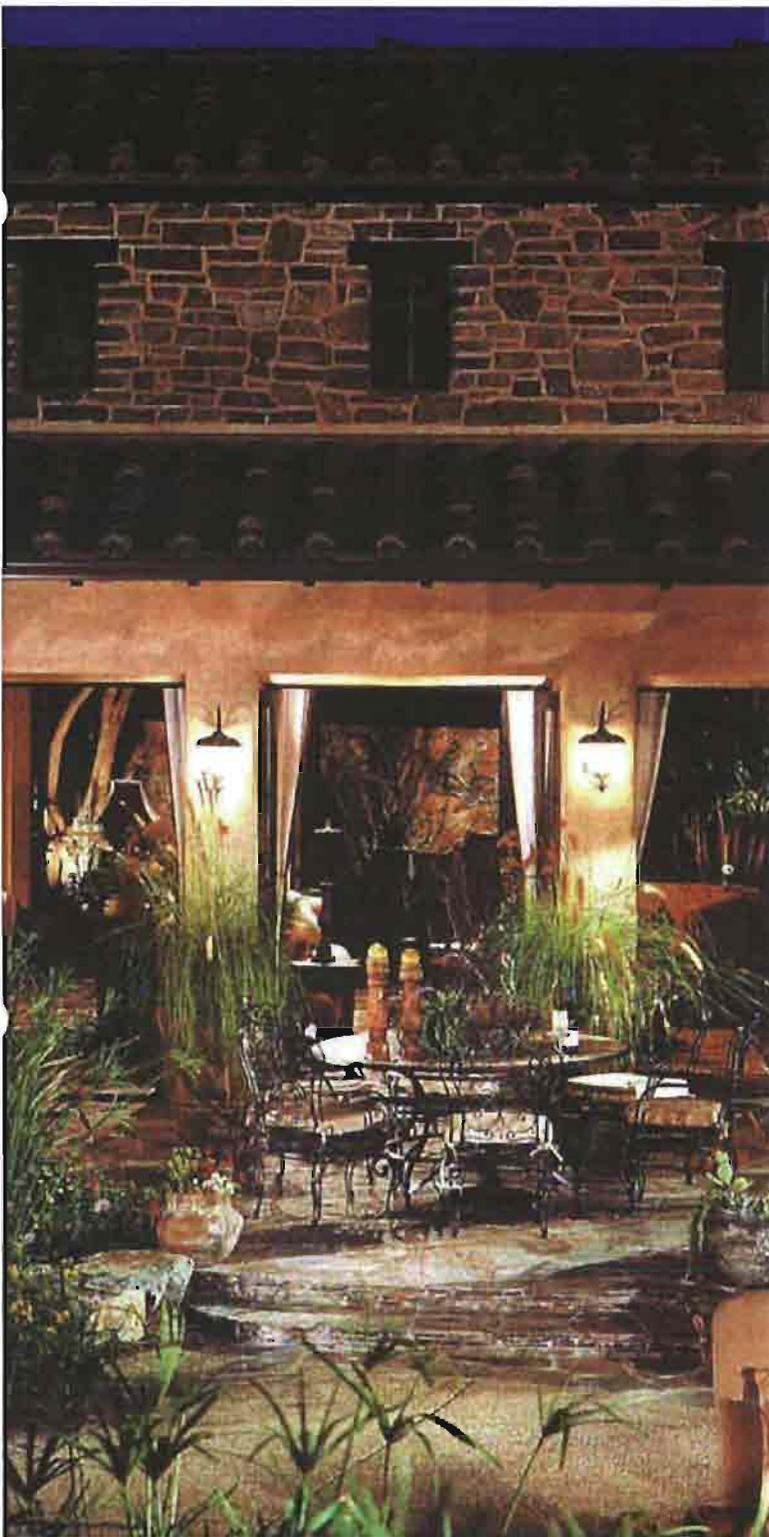


Conceptual Front Elevation

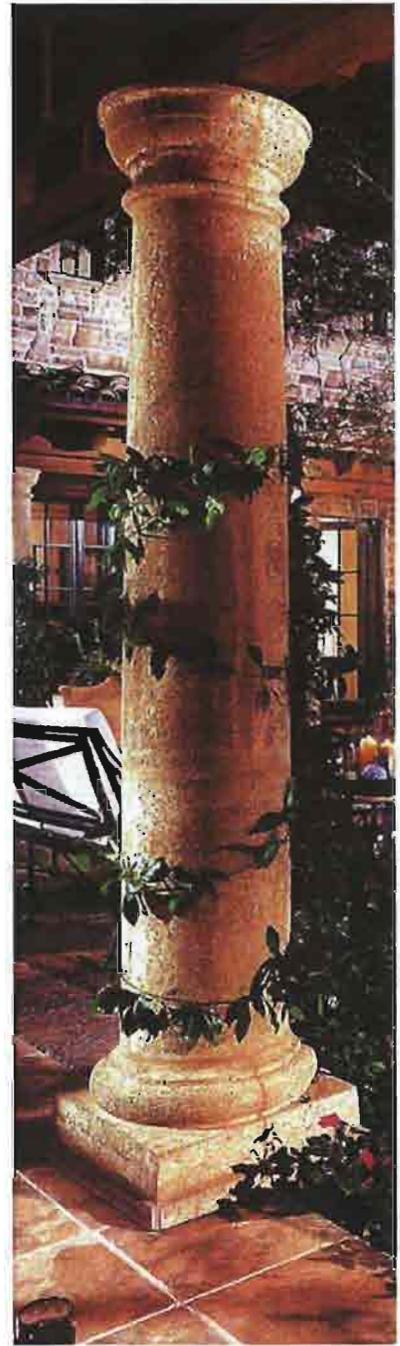
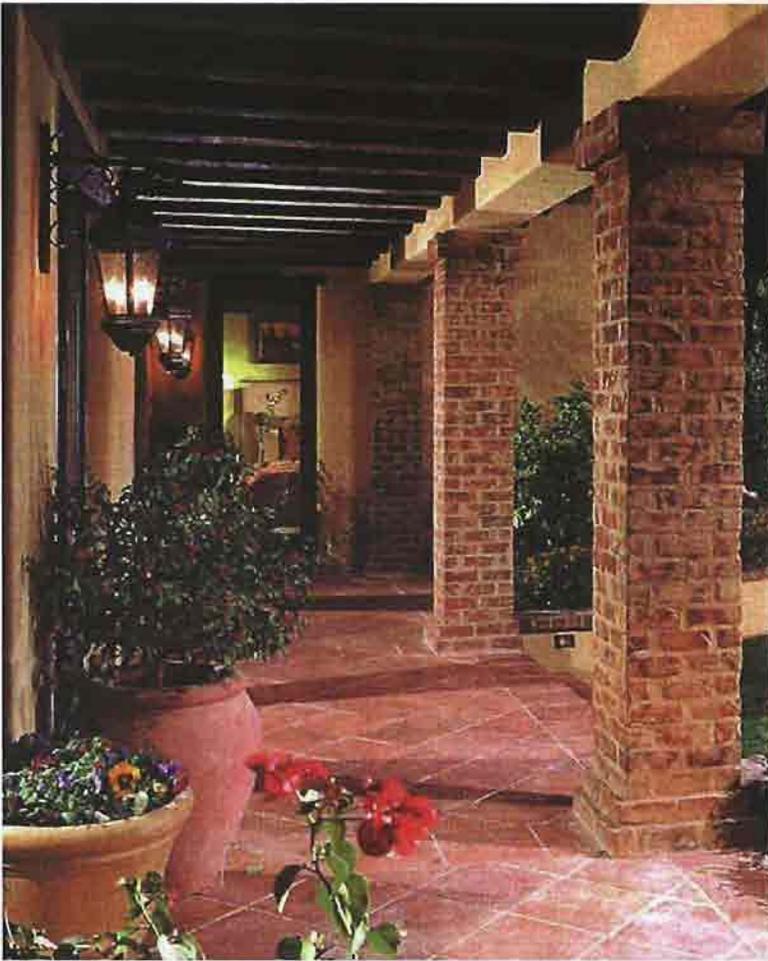
The architectural theme of the resort homes will be derived from the style of the resort hotel. The style will match in detailing, colors and materials. Due to the relationship of the homes to the resort as potential rental properties, the detailing and finishes will be comensurate with the quality and luxury of the hotel.

Walls will be a combination of plaster and stone with deeper earth tones. Clay tile roofs will be similar to the resort hotel, and the details will be in plaster, precast concrete and wood.





Recessed openings, detailed headers, arched colonnades will be used on the homes.

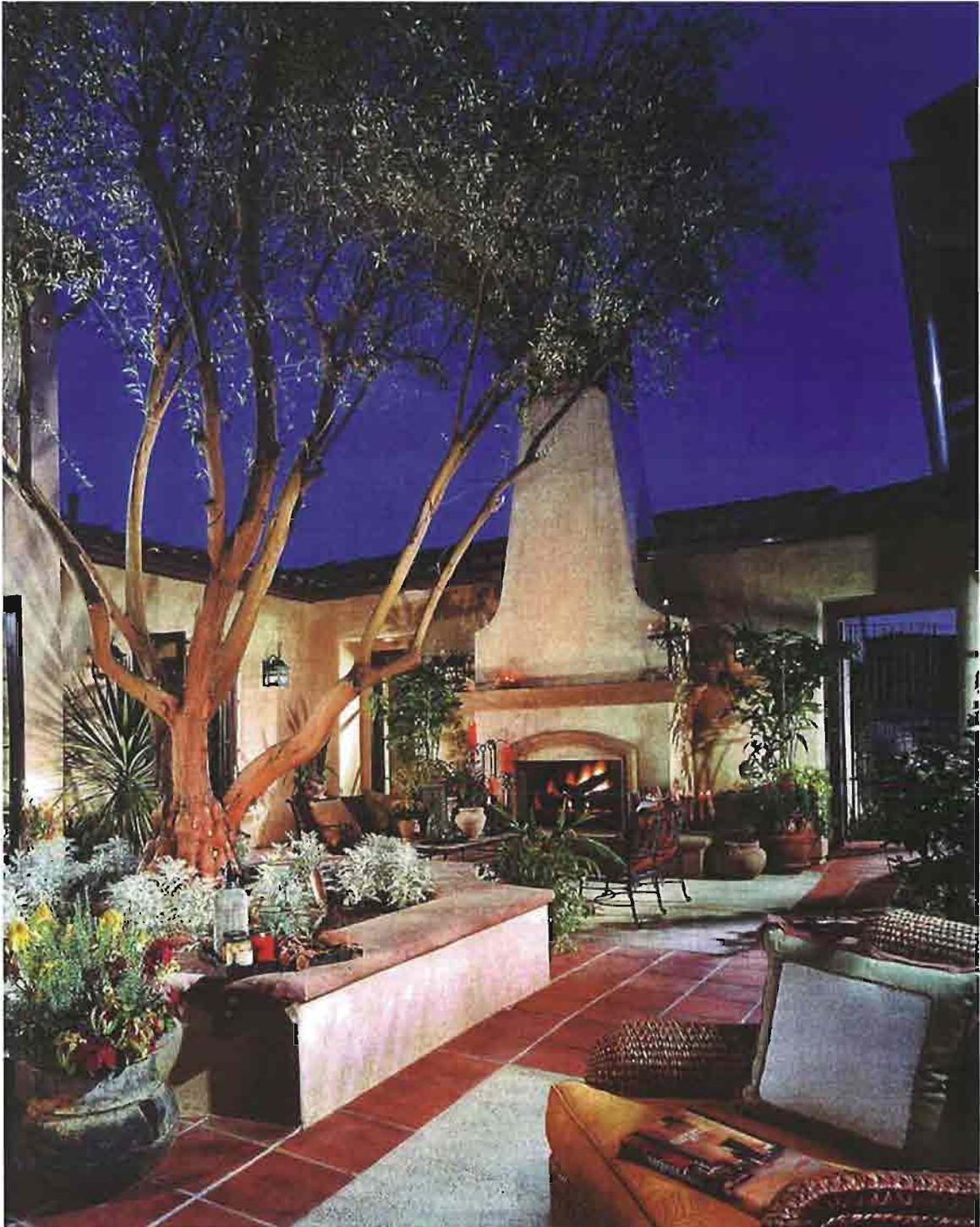


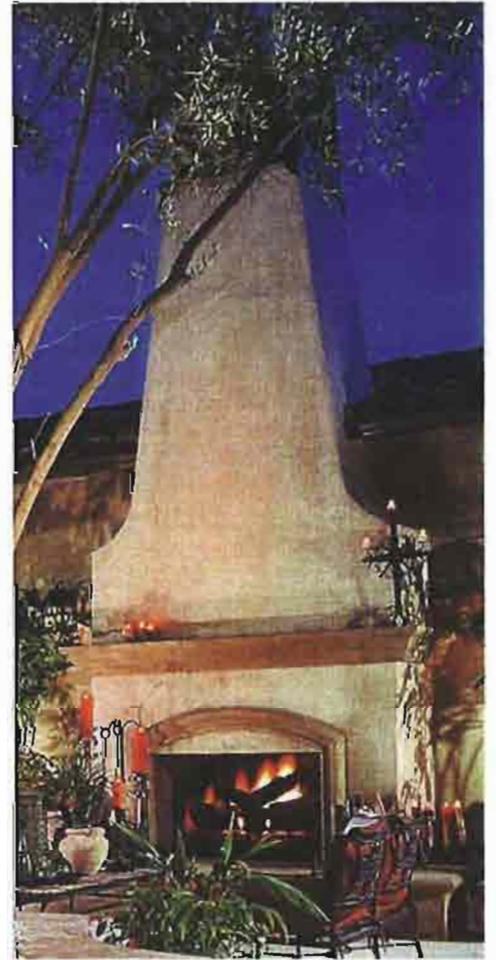
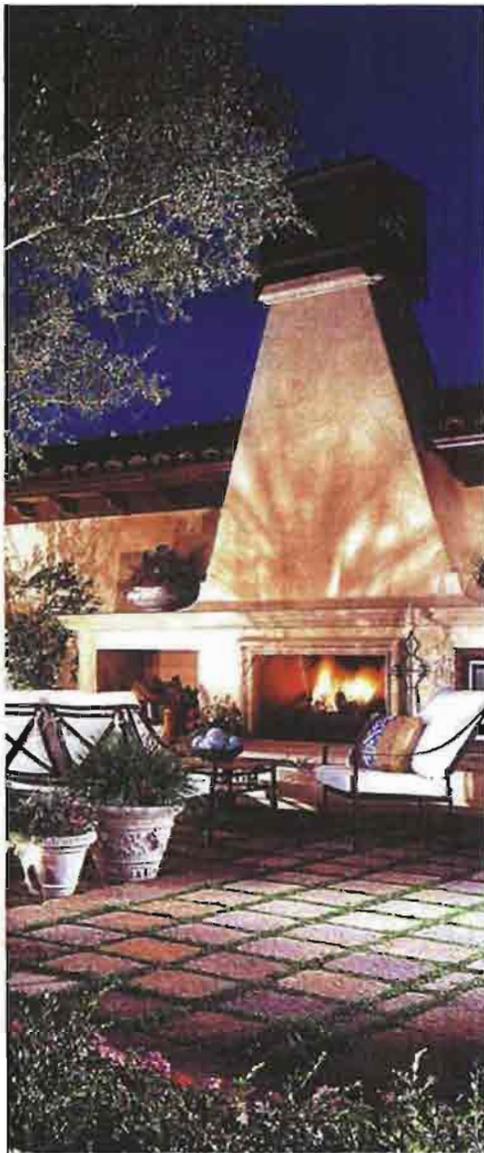
Variety in the detailing will achieve the custom feeling of the residences. The use of stone, masonry, precast columns and trim, tile roofs and wood will convey the Tuscan theme.



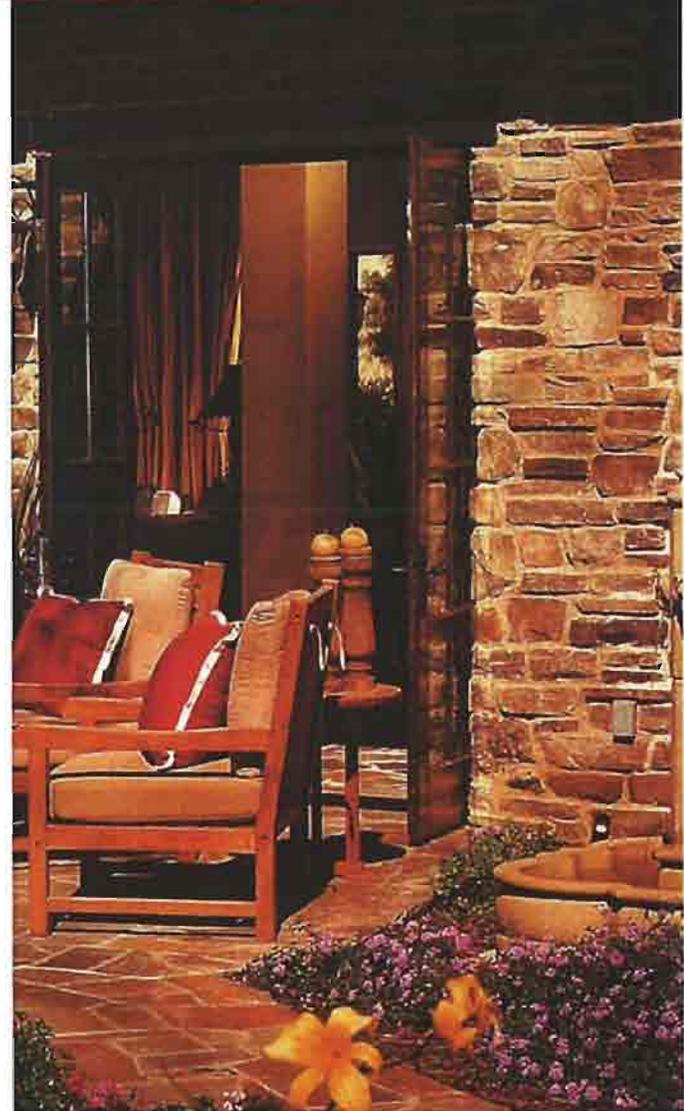
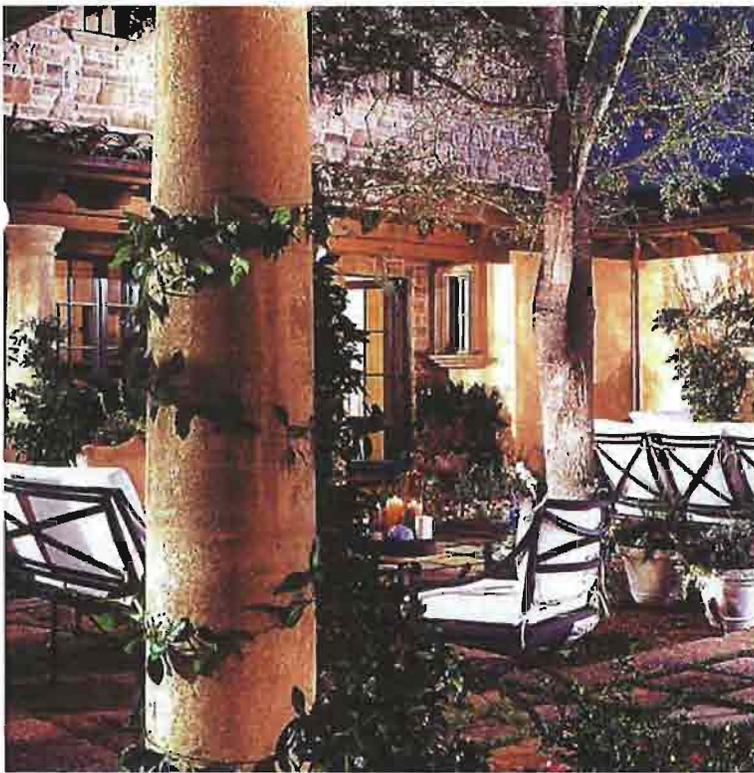
Covered outdoor spaces will allow for the enjoyment of the climate year round. These spaces will be reminiscent of the terraces at the resort hotel.

The courtyard spaces will allow privacy without always having the typical walled in yards. These enclosed spaces will be outdoor rooms with fireplaces, seating and dining areas, as well as landscaping.





The private courts within the residences may have an exterior fireplace, bar -b - que center as well as audio and video systems. Soft, ambient lighting will enhance the evening experience.



The terraces, courts and patios will offer numerous opportunities for outdoor seating.

Design Guidelines

Landscape & Common Areas

4.4 Planning Areas One, Two, Three and Four

Introduction	4.4 - 1
Lighting	4.4 - 1
Service Areas	4.4 - 1
Landscape	4.4 - 2
Plant Palette	4.4 - 3
Planting – Trees	4.4 - 5
Planting – Edges	4.4 - 7
Planting – Bases	4.4 - 8
Planting – Color	4.4 - 9
Textures	4.4 - 10
Parking Lot Planting	4.4 - 11
Perimeter	4.4 - 12

Common Area Design Guidelines

The following design guidelines shall apply to all four Planning Areas within the Town Center project site. Each Planning Area within Town Center contains unique land uses that will have varying structural designs and landscaping styles, however, there are a number of guidelines that shall be common to all four areas to create a sense of uniformity within the project.

Lighting

The lighting guidelines listed below are consistent with the City of Indian Wells General Plan and the Mt. Palomar Ordinance. When incorporated into the development of Indian Wells Town Center, they will eliminate sources of light pollution and aesthetic disturbance within the City:

1. The use of low or high pressure sodium light fixtures shall be prohibited.
2. Exterior lighting will be located and fully shielded so as to direct light away from adjoining lots, buildings, and streets (public or private).
3. Any architectural, landscape, or accent lighting [lighting used for decorative effects] will be turned off from one hour after closing until sunrise in order to protect Palomar Observatory from light pollution. Common recreational areas [club house, common pool areas, etc.] may be lighted while those facilities are actually in use. This requirement shall exclude outdoor lighting used for illuminating walkways, or other outdoor security lighting as permitted.
4. Architectural lighting will include wall mounted decorative fixtures, ground mounted fixtures and in conjunction with architectural details neon and LED lighting may be used.
5. Glare free type opaque fixtures for general task lighting shall be provided.
6. Path lighting shall be accomplished with concealed source post-top fixtures, bollard fixtures and surface mounted building fixtures.
7. Parking lot lighting shall be accomplished with low profile pole lighting with a maximum height of 25'-0 " or lower depending on a photometric study.

Service Areas (Trash Enclosures / Loading Facilities)

1. All trash and garbage bins shall be in approved enclosures as approved by the Architectural Landscape Committee.
2. The location of trash enclosures shall provide convenient access for each tenant.
3. Loading facilities shall be located and concealed from public view by a combination of walls and landscape.

4. Recycling shall be provided in all Planning Areas subject to Section 16 of the Indian Wells Municipal Code.
5. Within pedestrian areas all trash receptacles selected shall be in conformity with existing color schemes, materials and site furniture found within each Planning Area.

Landscaping

1. The landscape design at Indian Wells Town Center will be a bold design utilizing plant materials to define the spaces, connect the spaces, and enclose the edges. Established street tree patterns along Miles Avenue will be continued and enhanced. Setbacks and edges will have a consistent design palette that includes trees, shrubs, contoured berms, and monumentation for both the entire project and the project components.
2. Within the Retail Entertainment Center, the plazas will encourage pedestrian activity and include a variety of amenities as well as shade protection from both structures and landscape. Landscaped and lighted passageways through the parking areas will connect to the streetside pad buildings.
3. The Resort Hotel and Spa landscape design will solidify the resort experience. Planting will be used as screening for both privacy and to create drama. Within the exterior public spaces, the landscape will be used to enhance the amount of shade, soften the shading structures and provide enclosure and wind break. Wayfinding will be aided by the use of accent plantings at entry points and thematic plantings along routes. Hardscape elements such as curbs, low walls, seat walls, planters and pilasters will compliment the softscape.

Plant Legend

Tree, vine and espalier planting to be selected from the following list:

Accent Trees

Symbol	Botanical name	Common Name	Size
	<i>Bauhinia variegata</i>	Purple Orchid Tree	24" box
	<i>Callistemon viminalis</i>	Weeping Bottlebrush	24" box
	<i>Chitalpa tashkentensis</i>	No Common Name	15 gal
	<i>Cupressus sempervirens</i>	Italian Cypress	24" box
	<i>Feijoa sellowiana</i>	Pineapple Guava	15 gal
	<i>Ficus nitida columns</i>	No Common Name	24" box
	<i>Juniperus chinensis 'Torulosa'</i>	Hollywood Juniper	24" box
	<i>Pittosporum phillyreoides</i>	Willow Pittosporum	24" box
	<i>Prunus caroliniana</i>	Carolina Laurel Cherry	15 gal
	<i>Yucca gloriosa</i>	Spanish Dagger	24" box

Court & Paseo Trees

Symbol	Spacing	Botanical name	Common Name	Size
		<i>Brachychiton populneus</i>	Bottle Tree	36" box
		<i>Citrus species</i>	Citrus	36" box
		<i>Ficus microcarpa nitida</i>	Indian Laurel Fig	48" box
		<i>Laurus nobilis</i>	Sweet Bay	36" box
		<i>Olea europaea</i>	Olive	48" box
		<i>Schinus molle</i>	California Pepper Tree	48" box

Parking Lot Trees

Symbol	Spacing	Botanical name	Common Name	Size
		<i>Parkinsonia aculeata</i>	Mexican Palo Verde	24" box
		<i>Prosopis chilensis</i>	Chilean Mesquite	24" box
		<i>Rhus lancea</i>	African Sumac	24" box

Site Perimeter & Streetscape Trees

Symbol	Spacing	Botanical name	Common Name	Size
		<i>Acacia aneura</i>	Mulga Acacia	24" box min.
		<i>Cercidium floridum</i>	Blue Palo Verde	36" box
		<i>Ligustrum lucidum</i>	Glossy Privet	24" box
		<i>Schinus molle</i>	California Pepper Tree	48" box
		<i>Tipuana tipu</i>	Tipu Tree	24" box

Palms

Symbol	Spacing	Botanical name	Common Name	Size
		<i>Chamaerops humilis</i>	Mediterranean Fan Palm	36" box min.
		<i>Phoenix dactylifera</i>	Date Palm	18'-35' max
		<i>Washingtonia filifera</i>	California Fan Palm	10-12', 13', 16', 17', 20
		<i>Washingtonia robusta</i>	Mexican Fan Palm	10-12', 13', 16', 17', 20

Vines & Espaliers

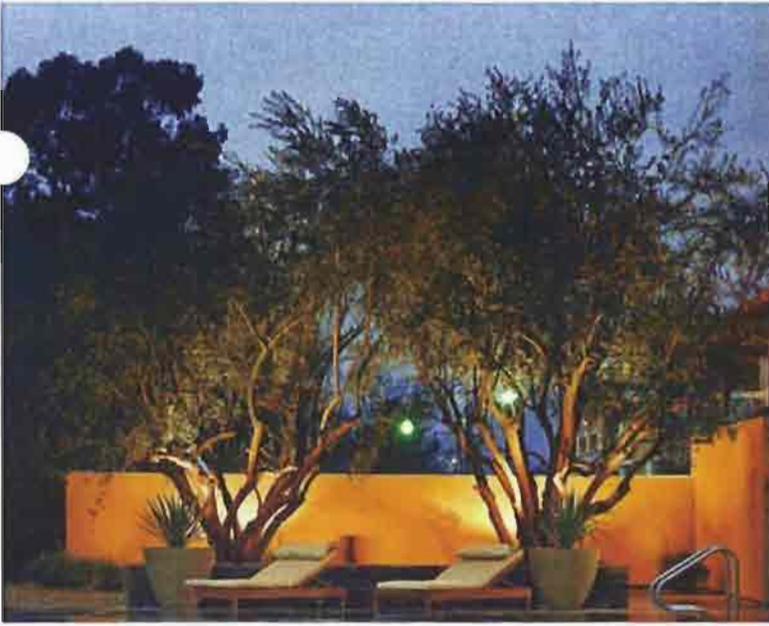
Symbol	Spacing	Botanical name	Common Name	Size
		<i>Bougainvillea species</i>	No Common Name	5 gal
		<i>Distictis buccinatoria</i>	Blood-Red Trumpet Vine	5 gal
		<i>Gelsemium sempervirens</i>	Carolina Jessamine	5 gal
		<i>Hibbertia scandens</i>	Guinea Gold Vine	5 gal
		<i>Pyrostegia venusta</i>	Flame Vine	5 gal
		<i>Rosa banksiae</i>	Lady Banks' Rose	5 gal
		<i>Trachelospermum jasminoides</i>	Star Jasmine	5 gal

Plant Legend

Shrub and groundcover planting to be selected from the following list:

Shrubs & Groundcover

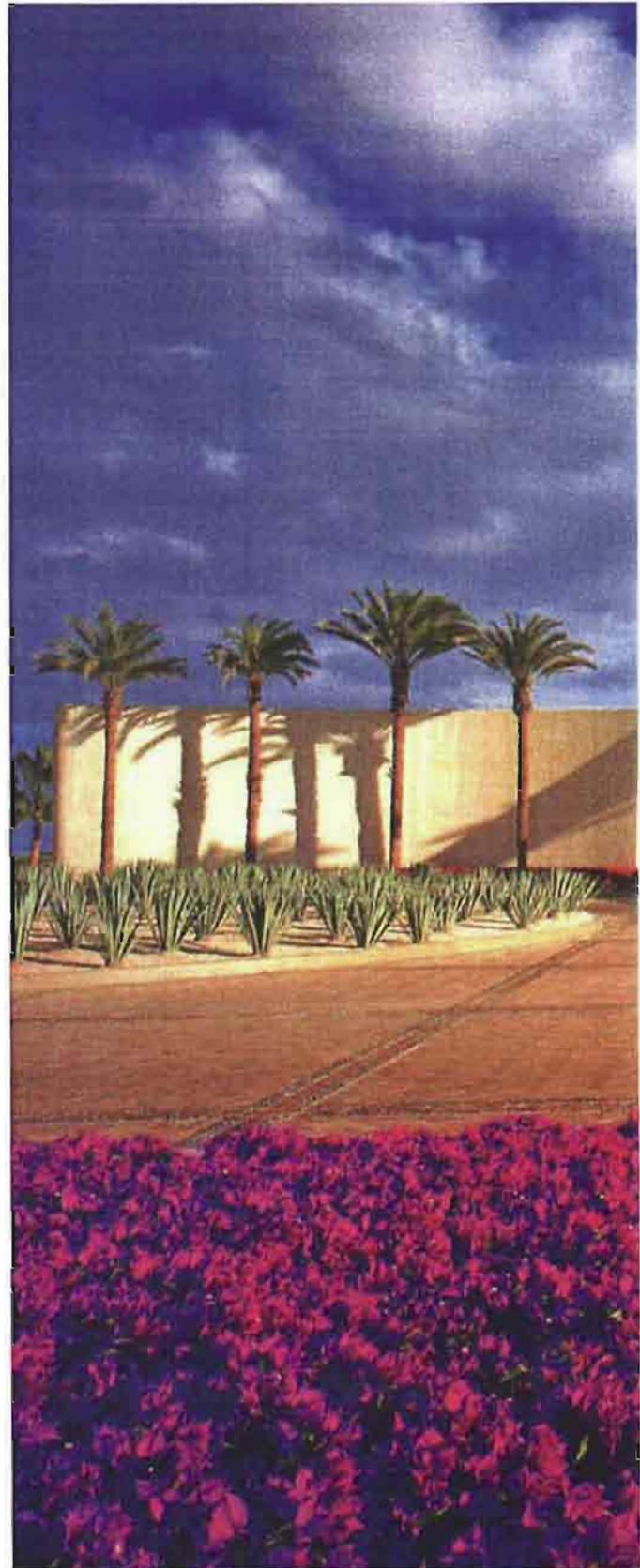
Spacing	Botanical name	Common Name	Size
6' O.C.	<i>Acacia redolens</i> 'Desert Carpet'	No Common Name	1 gal
5' O.C.	<i>Agave americana</i>	Century Plant	5 gal
5' O.C.	<i>Agave victoriae - reginae</i>	No Common Name	5 gal
4' O.C.	<i>Agave vilmoriana</i>	Octopus Agave	5 gal
2' O.C.	<i>Aloe striata</i>	Coral Aloe	1 gal
3' O.C.	<i>Aloe vera</i>	No Common Name	1 gal
4' O.C.	<i>Bougainvillea</i> species	No Common Name	5 gal
4' O.C.	<i>Calliandra tweedii</i>	Trinidad Flame Bush	5 gal
4' O.C.	<i>Callistemon</i> species	Bottlebrush	5 gal
3' O.C.	<i>Carissa macrocarpa</i> 'Green Carpet'	Natal Plum	5 gal
3' O.C.	<i>Carissa macrocarpa</i> 'Tuttle'	Natal Plum	5 gal
4' O.C.	<i>Cassia nemphilia</i>	Desert Cassia	5 gal
3.5' O.C.	<i>Cistus purpureus</i>	Orchid Rockrose	5 gal
3' O.C.	<i>Convolvulus mauritanicus</i>	Ground Morning Glory	1 gal
4' O.C.	<i>Dalea greggi</i>	Trailing Indigo Bush	1 gal
5' O.C.	<i>Dasyllirion longissima</i>	Mexican Grass Tree	5 gal
3' O.C.	<i>Diets bicolor</i>	Fortnight Lily	5 gal
2' O.C.	<i>Dipladenia splendens</i> 'Red Riding Hood'	No Common Name	1 gal
6' O.C.	<i>Echinocactus grusonii</i>	Barrel Cactus	10" dia
3' O.C.	<i>Euphorbia</i> species	Crown of Thorns	1 gal
3' O.C.	<i>Euryops pectinatus</i> 'Viridis'	No Common Name	5 gal
6' O.C.	<i>Feijoa sellowiana</i>	Pineapple Guava	5 gal
6' O.C.	<i>Hesperaloe parviflora</i>	Red Yucca	5 gal
4' O.C.	<i>Lantana</i> species	No Common Name	1 gal
4' O.C.	<i>Leucophyllum frutescens</i> 'Compacta'	Dwarf Texas Ranger	5 gal
3' O.C.	<i>Ligustrum japonicum</i> 'Texanum'	Texas Privet	5 gal
3' O.C.	<i>Muhlenbergia capillaris</i>	Pink Muhly	5 gal
3' O.C.	<i>Muhlenbergia capillaris</i>	Pink Muhly	5 gal
6' O.C.	<i>Myoporum parvifolium</i>	No Common Name	1 gal
2' O.C.	<i>Myrtus communis</i> 'Compacta'	Myrtle	5 gal
4' O.C.	<i>Nerium oleander</i>	Oleander	5 gal
3' O.C.	<i>Opuntia</i> species	No Common Name	5 gal
2' O.C.	<i>Pelargonium</i> species	Geranium	1 gal
3' O.C.	<i>Penstemon</i> hybrids	Beard Tongue	1 gal
3' O.C.	<i>Phormium tenax</i> 'Maori Queen'	Australian Flax	5 gal
4' O.C.	<i>Pittosporum tobira</i>	Tobira	5 gal
5' O.C.	<i>Plumbago auriculata</i>	Cape Plumbago	5 gal
3' O.C.	<i>Rhaphiolepis</i> species	Indian Hawthorn	5 gal
4' O.C.	<i>Rosa</i> hybrids	Rose	5 gal
3' O.C.	<i>Rosmarinus officinalis</i> 'Prostratus'	Rosemary	1 gal
3' O.C.	<i>Ruellia peninsularis</i>	No Common Name	5 gal
4' O.C.	<i>Russellia equisetiformis</i>	Firecracker Plant	5 gal
3' O.C.	<i>Salvia</i> species	Sage	1 gal
2' O.C.	<i>Santolina virens</i>	No Common Name	1 gal
2' O.C.	<i>Stipa tenuissima</i>	Mexican Feather Grass	1 gal
4' O.C.	<i>Tecoma capensis</i>	Cape Honeysuckle	5 gal
3' O.C.	<i>Verbena</i> hybrids	Garden Verbena	1 gal
4' O.C.	<i>Westringia fruticosa</i>	Coast Rosemary	5 gal
4' O.C.	<i>Xylosma congestum</i>	No Common Name	5 gal
4' O.C.	<i>Yucca gloriosa</i>	Spanish Dagger	5 gal

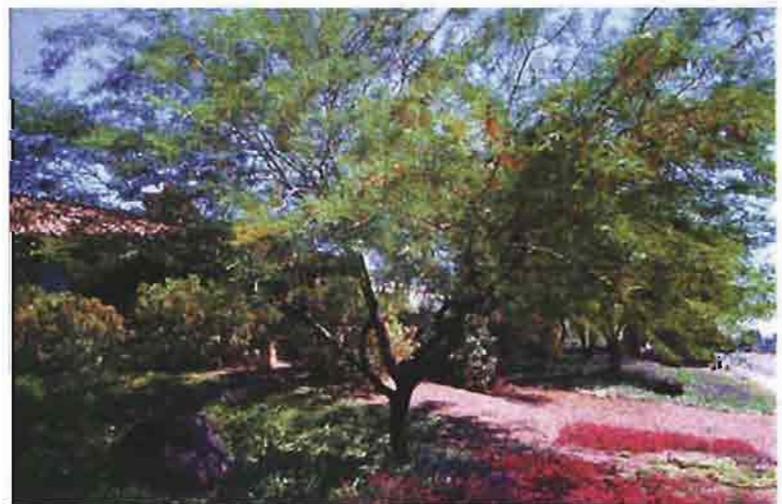
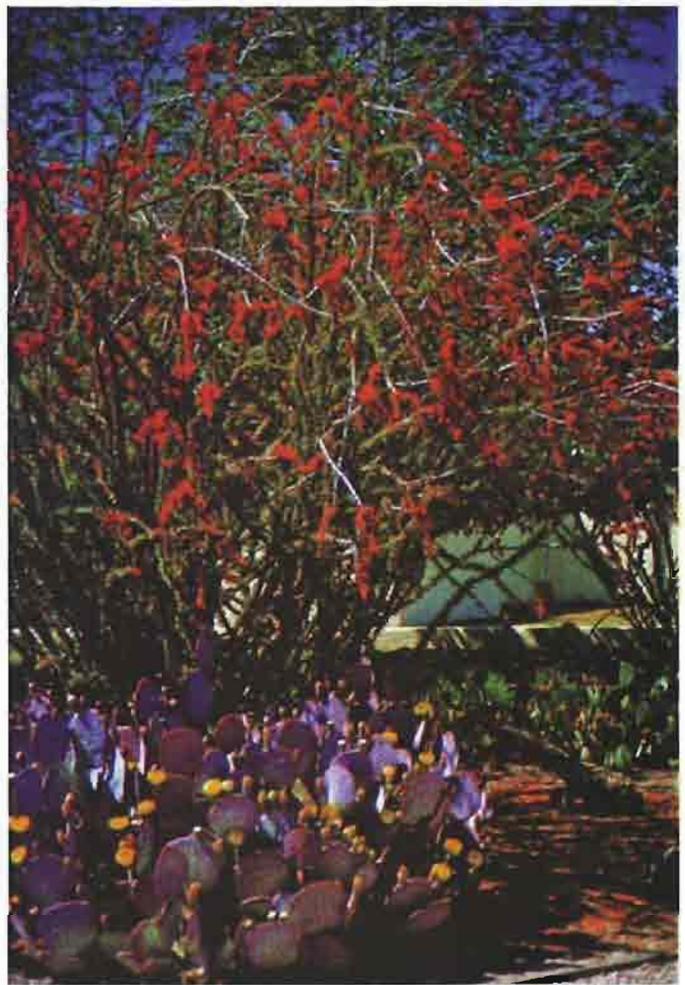
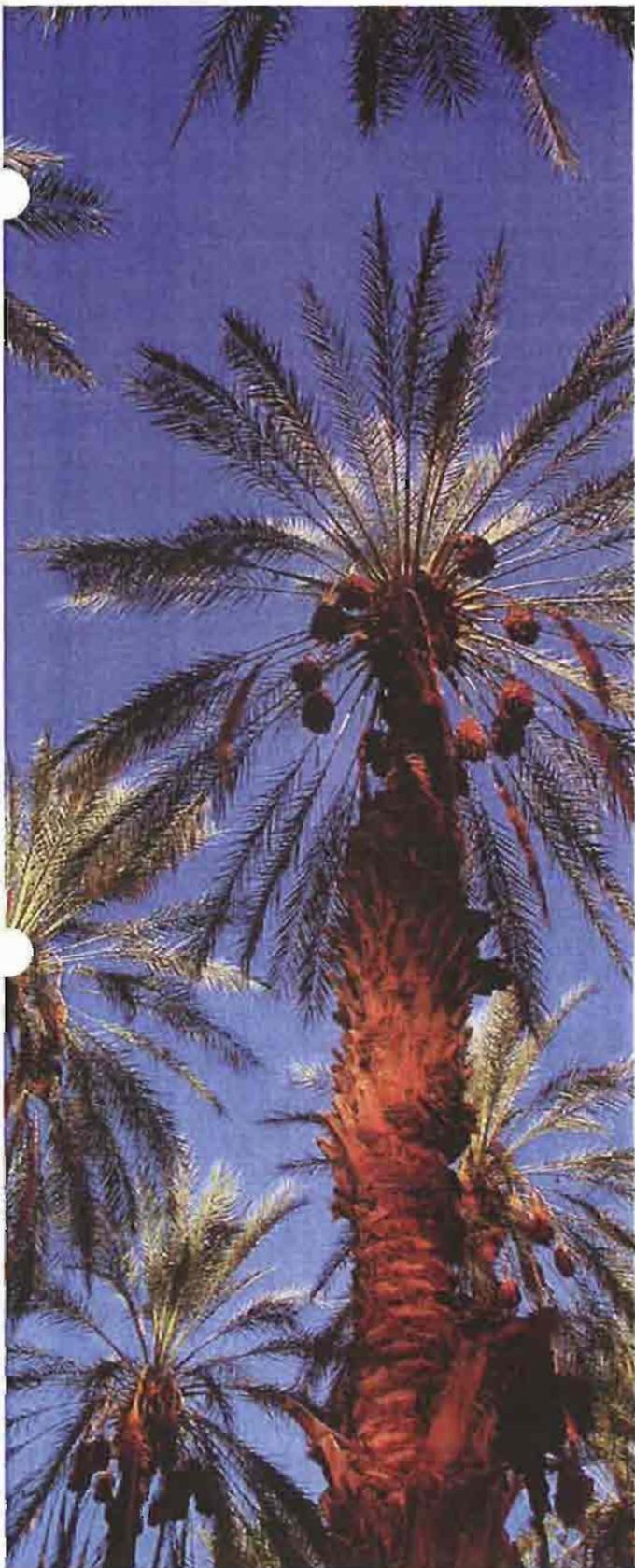


Trees will provide shade as well as define spaces. Canopy trees will protect the outdoor gathering spaces. Accent trees will be used as focal points.

Pathways will be marked with bold rows of trees, visually linking the street and pad buildings with the main courts and plazas. Wayfinding from plaza to plaza will also be enhanced with a landscape edge.

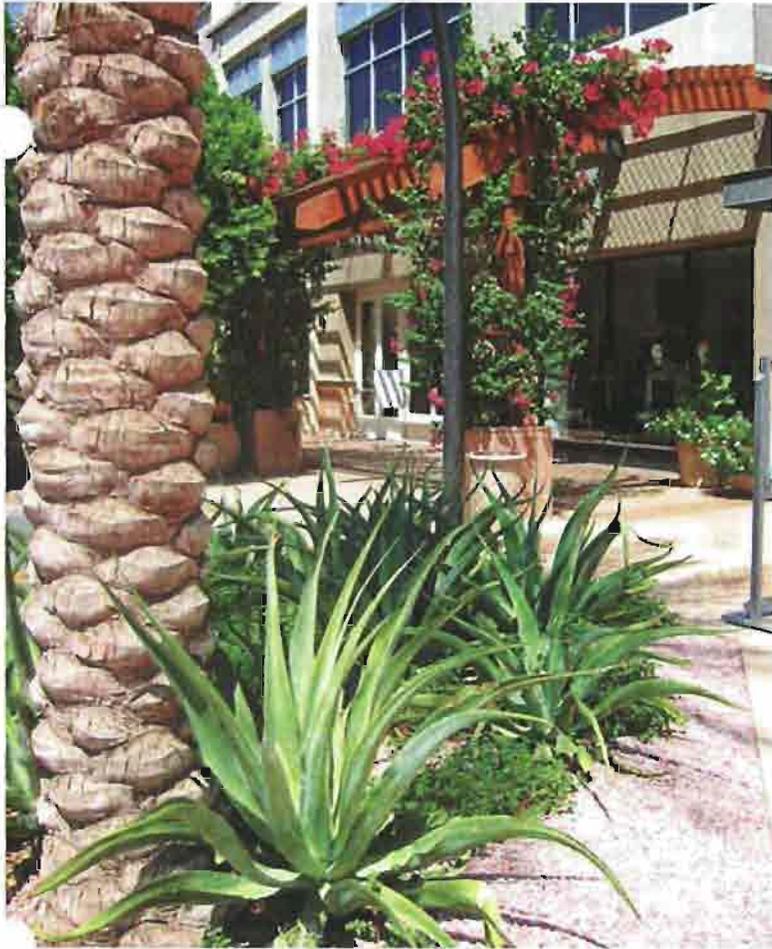
Careful lighting of the trees will enhance the nighttime experience.



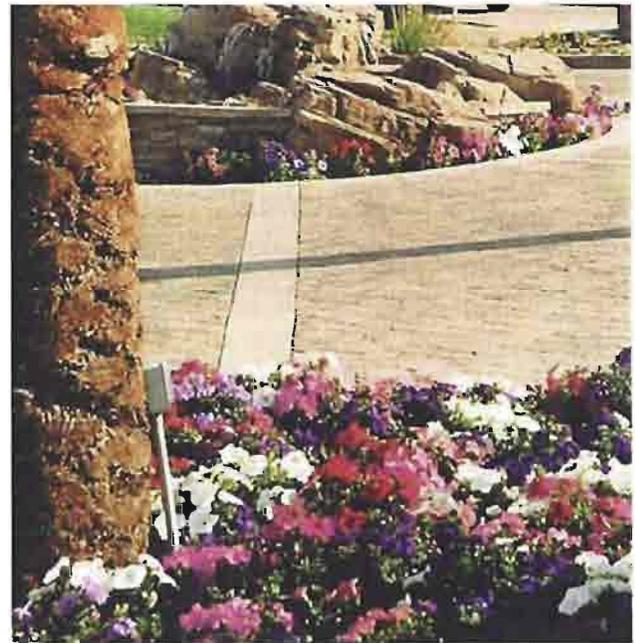


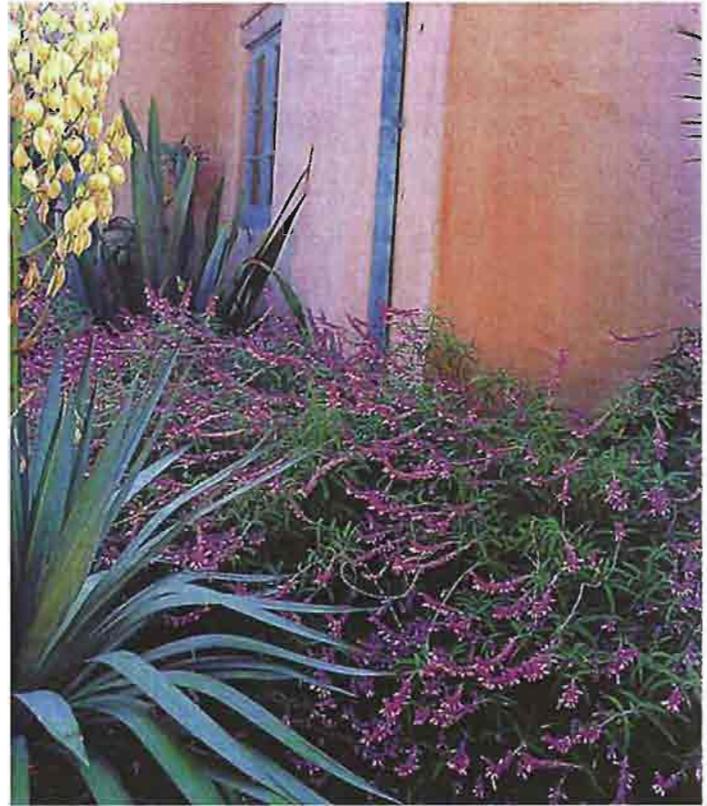


The edges defined by planting will be both large scale, such as main driveways, and small scale, such as pedestrian passageways. Texture and color will be interplayed to provide a vibrant look.



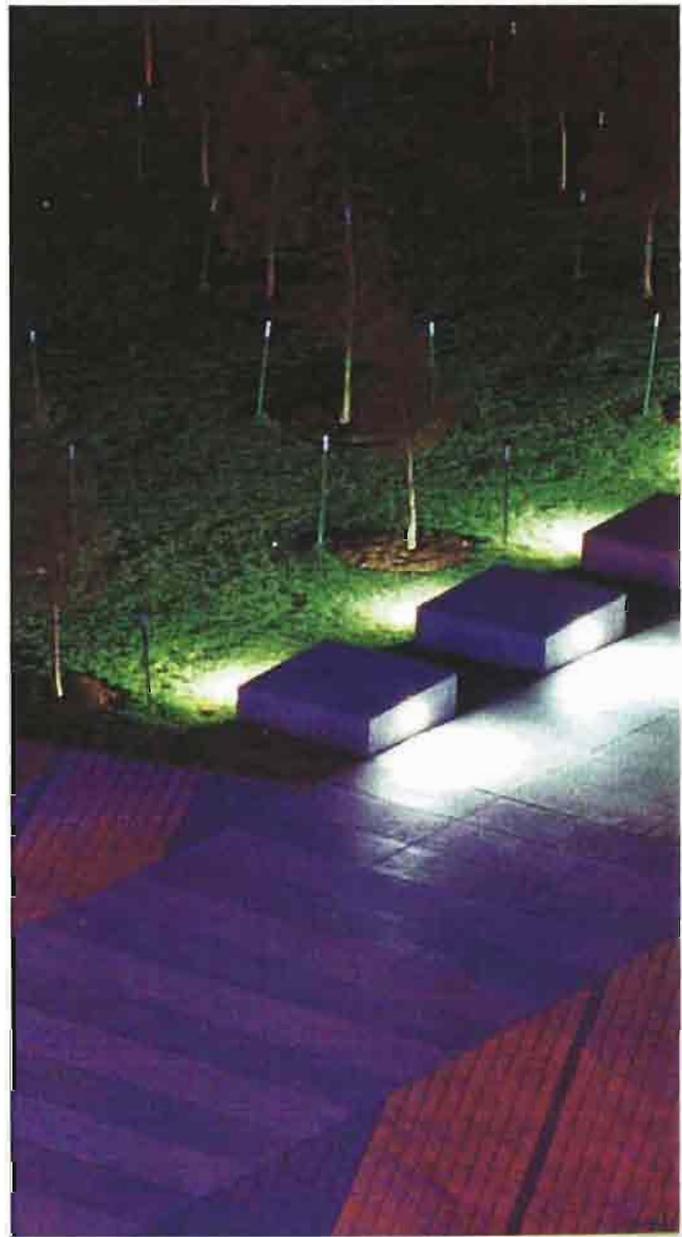
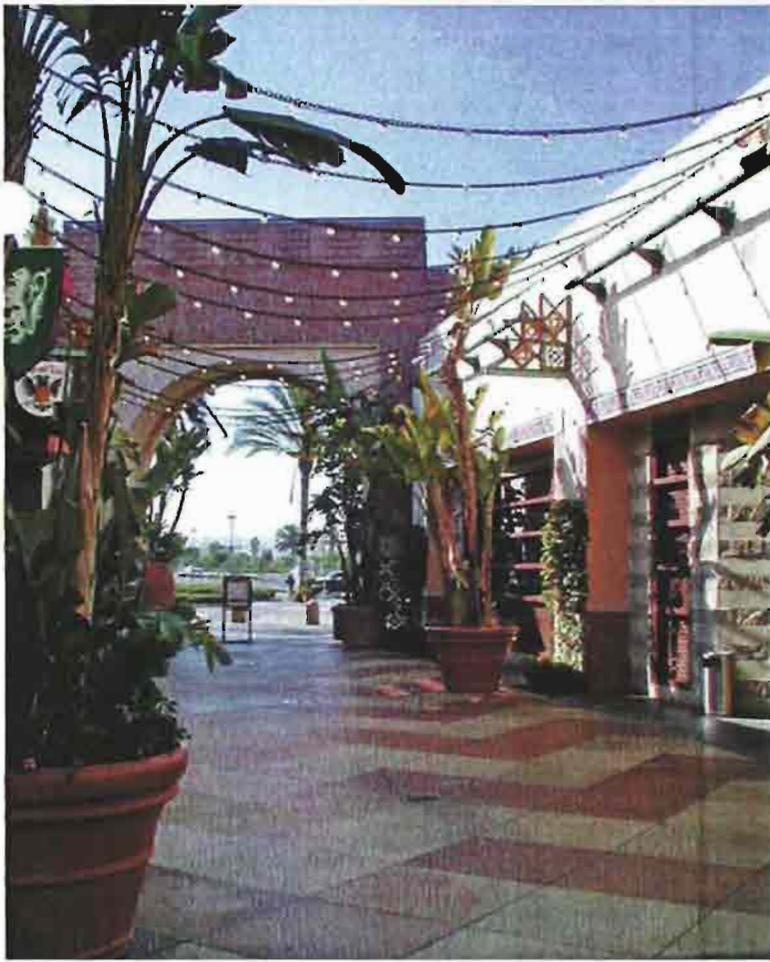
Base plantings adjacent to trees and buildings will provide variety at the pedestrian level. Seasonal color will enhance the pots, planters and hanging baskets. Many of the shade structures will incorporate vines.





The desert offers a rich palette of vibrant colors. Bold massings and layers will enhance the architecture and the pedestrian ways.



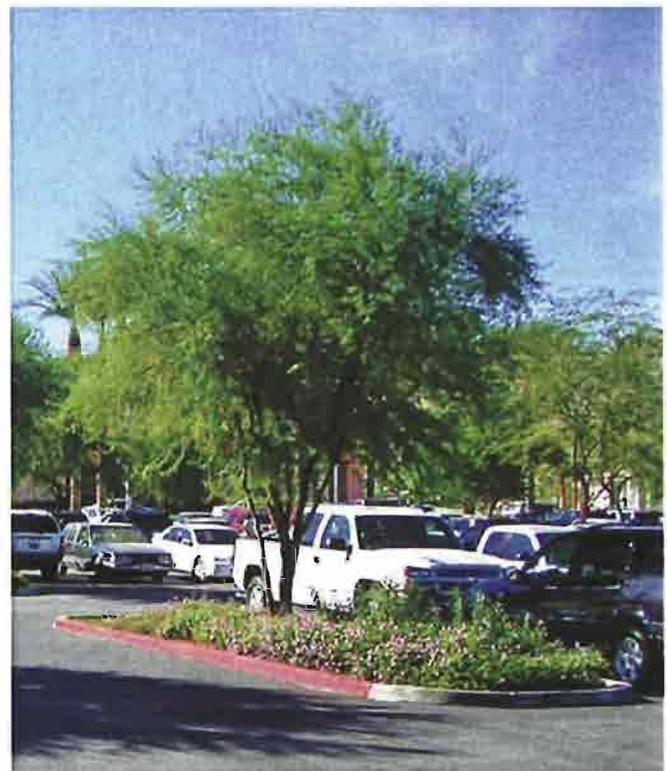


Contrasting textures will add visual interest to the plazas and courts. This variety will be in the hardscape, the site furniture and the choice of plant material.



The planting within the parking lot will provide shade and offer a canopy that will soften the view over the cars without blocking the views in or the signs.

Landscape islands will have shrubs and groundcover that is appropriate for the environment, and will enhance the edges of the main driveways.





The project edges will include the thematic street plantings, shrubs, berms and low walls to screen the parking areas, and accent plantings at the major points of access, both vehicle and pedestrian.



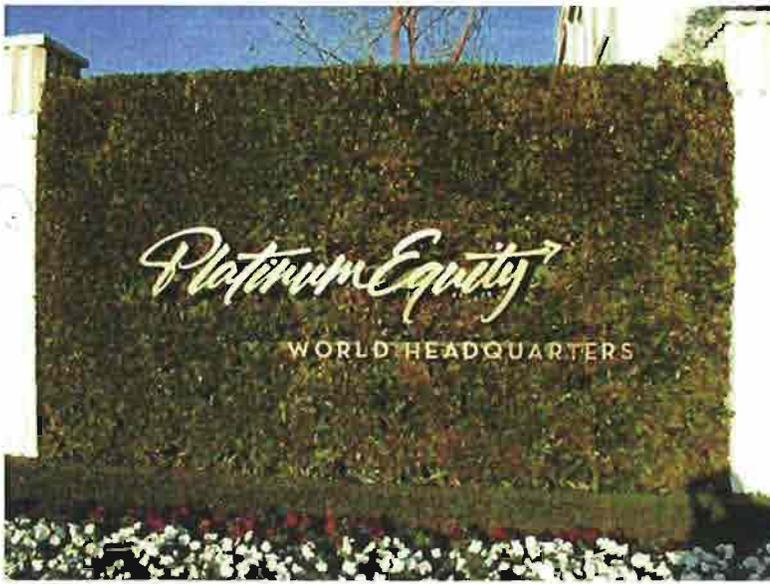


The accent plantings will boldly mark the entry points and the pathways to the plazas and courts. The landscape will have numerous vertical layers, offering variety in texture and color.

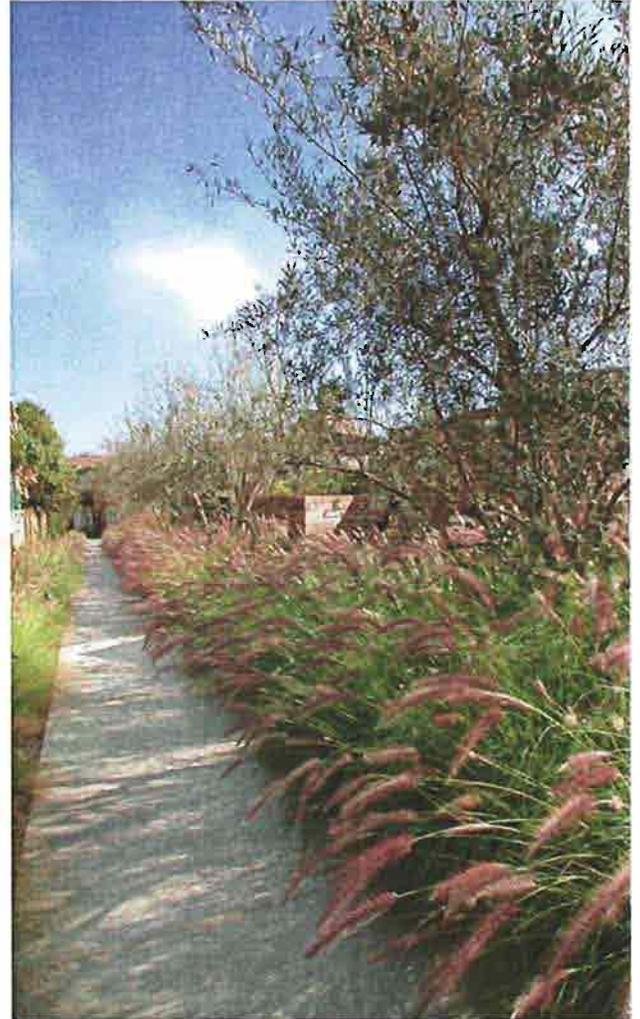


The existing street tree plantings on Miles Avenue will be extended and enhanced for the entire project perimeter.





Unique solutions to entry signage, pathway edges and building screening incorporate the same palette of materials.

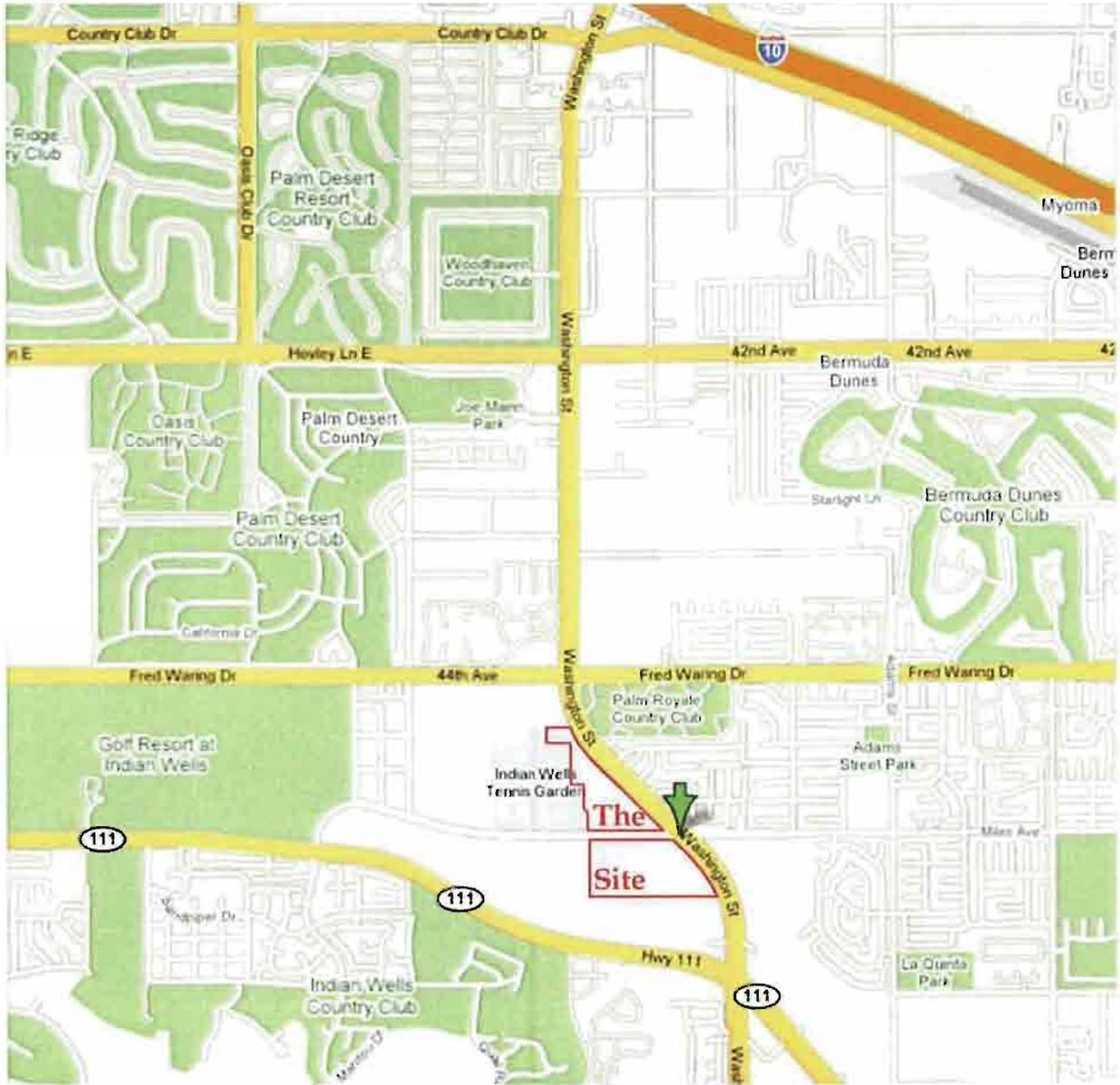


City of Indian Wells

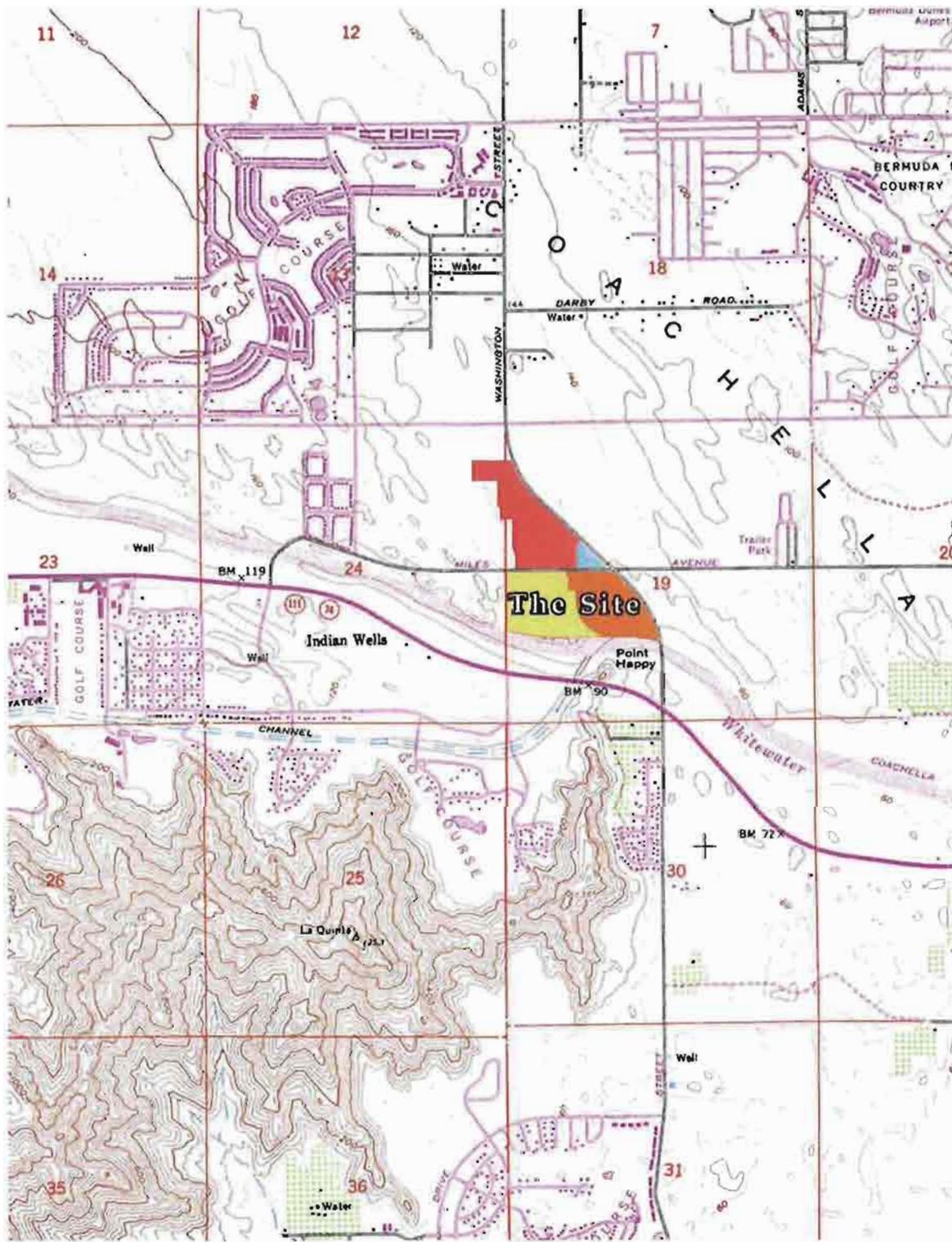
Town Center Specific Plan

5.0 Maps and Charts

Vicinity Map.....	5.0 - 1
USGS Topographic Map.....	5.0 - 2
Land Use Plan.....	5.0 - 3
General Plan Land Use and Zoning.....	5.0 - 4
Preliminary Utility Plan - Planning Area One	5.0 - 5
Preliminary Utility Plan - Planning Area Two.....	5.0 - 6
Preliminary Utility Plan - Planning Area Three	5.0 - 7



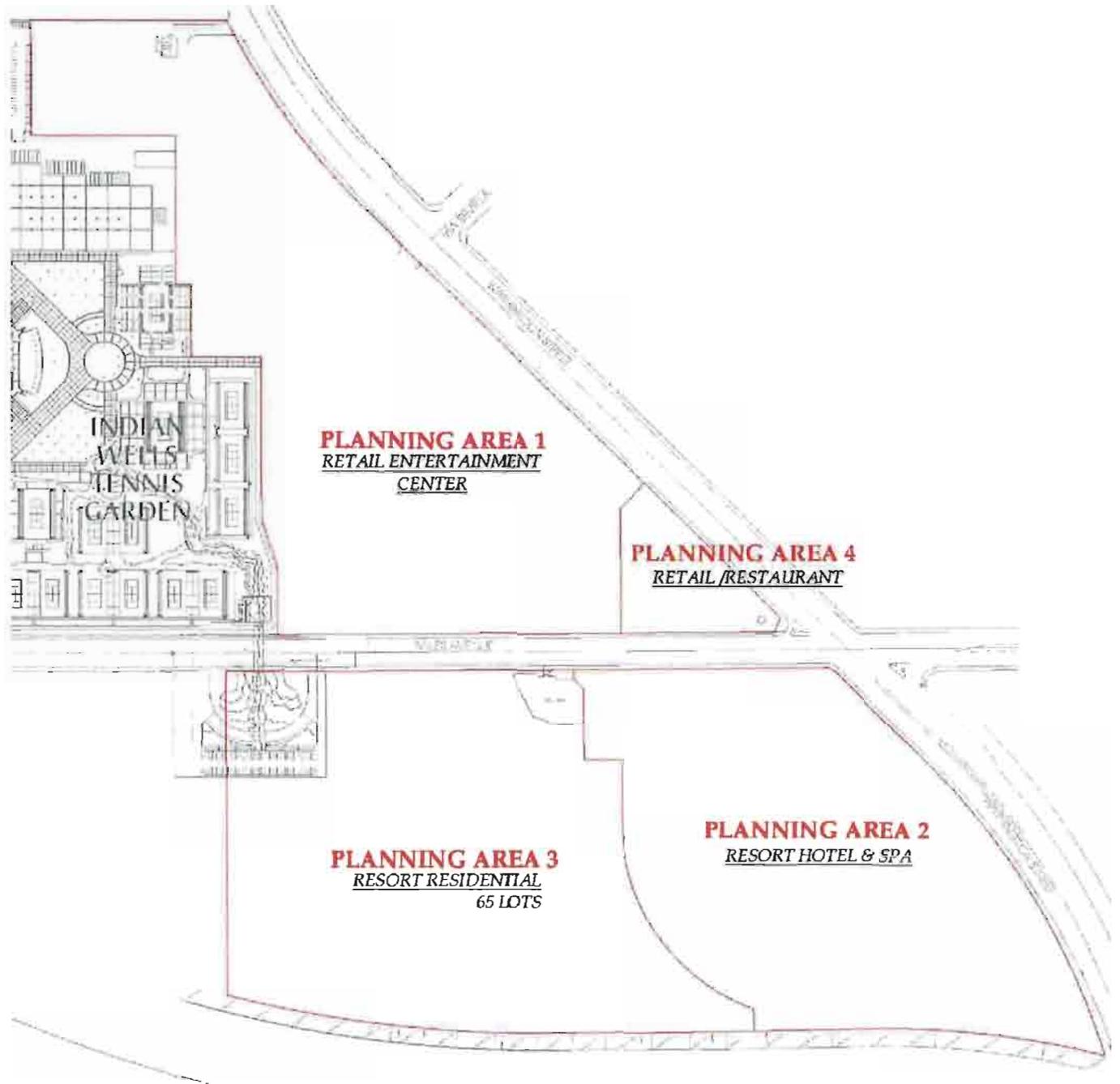
Vicinity Map Indian Wells Town Center



USGS Topographic Map

Indian Wells

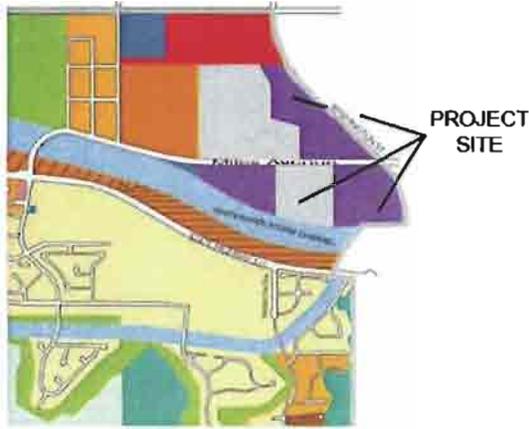
Town Center



Land Use Plan

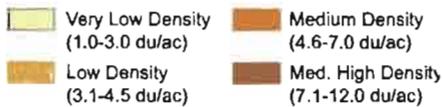
Indian Wells Town Center

Existing



LAND USE LEGEND

RESIDENTIAL



COMMERCIAL

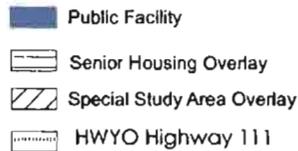


OPEN SPACE



Open Space

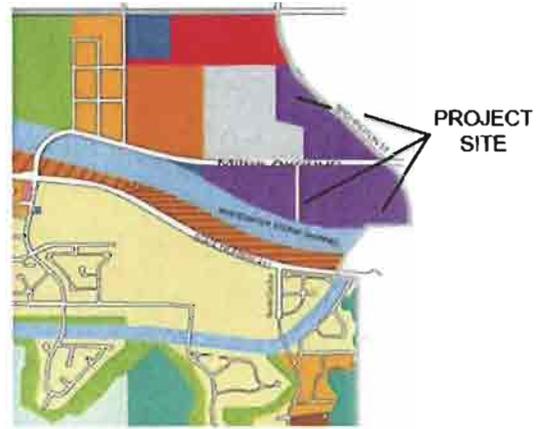
CIVIC/OTHER



Land Use/Zoning

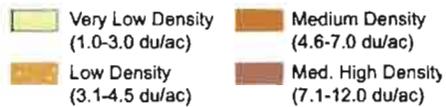
Source: City of Indian Wells
Updated: August 4, 2005

Proposed

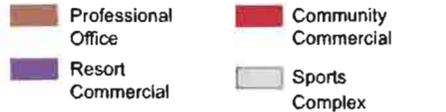


LAND USE LEGEND

RESIDENTIAL



COMMERCIAL

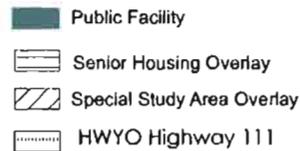


OPEN SPACE

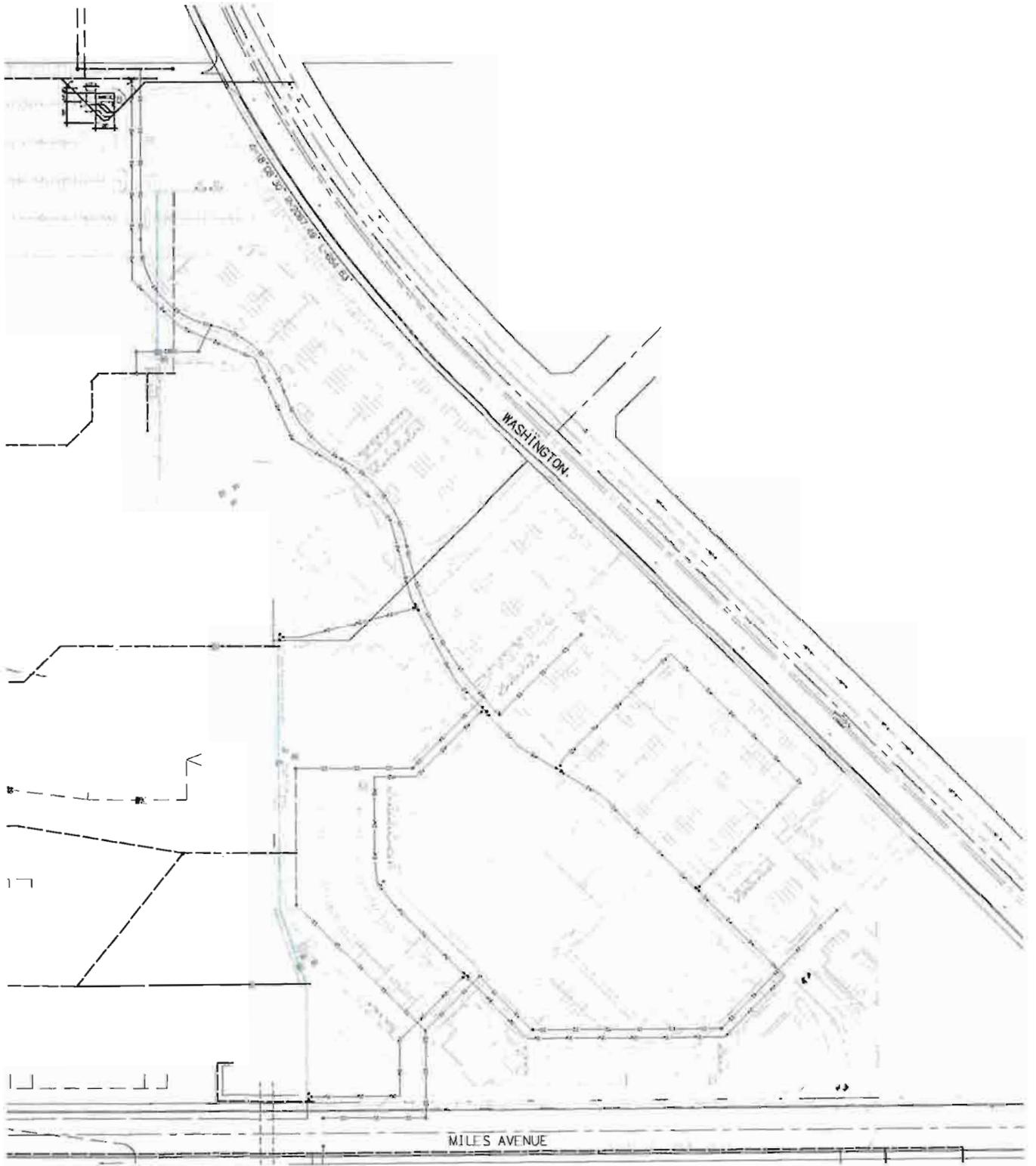


Open Space

CIVIC/OTHER

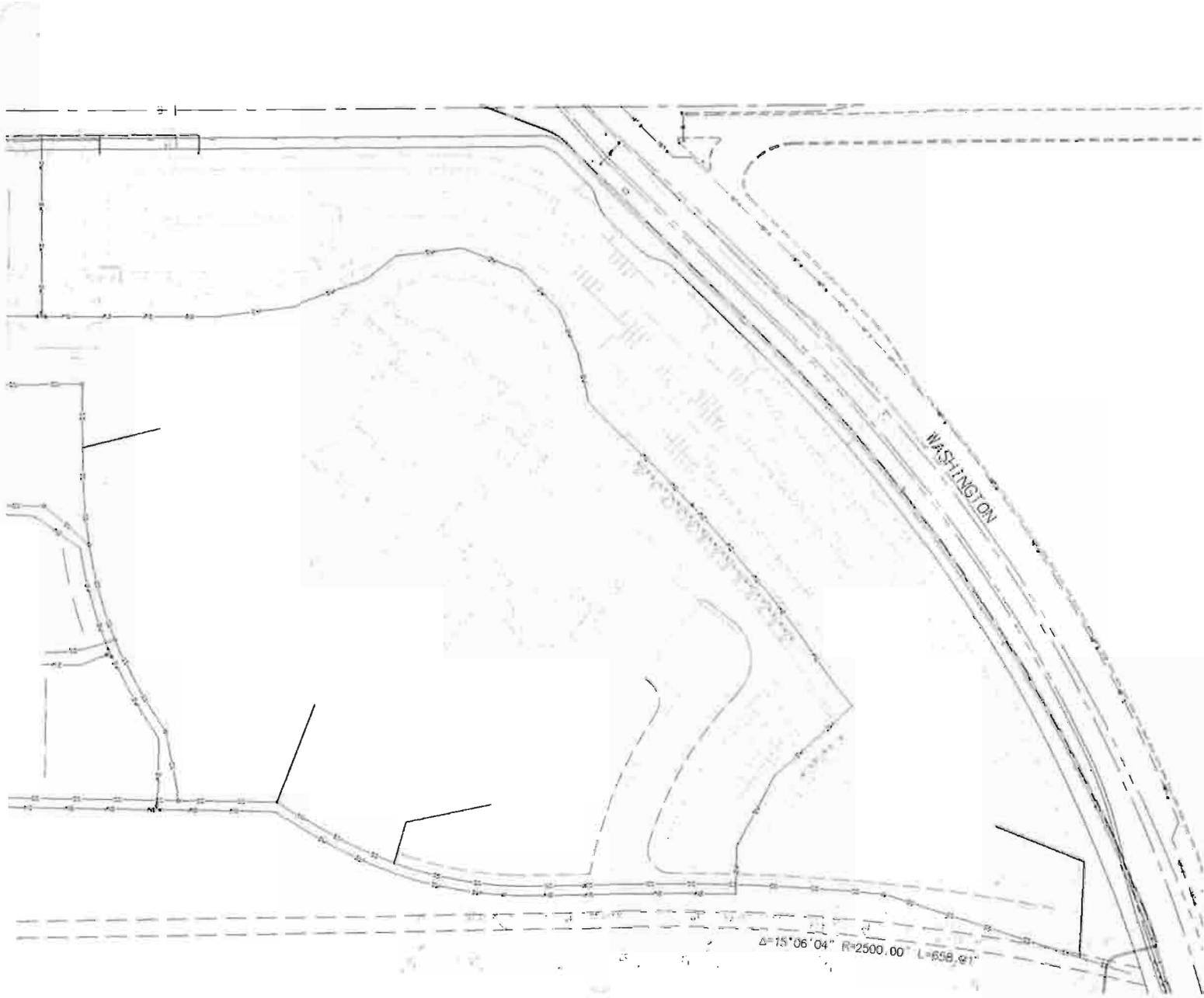


Land Use/Zoning



Preliminary Infrastructure Plan Planning Area One

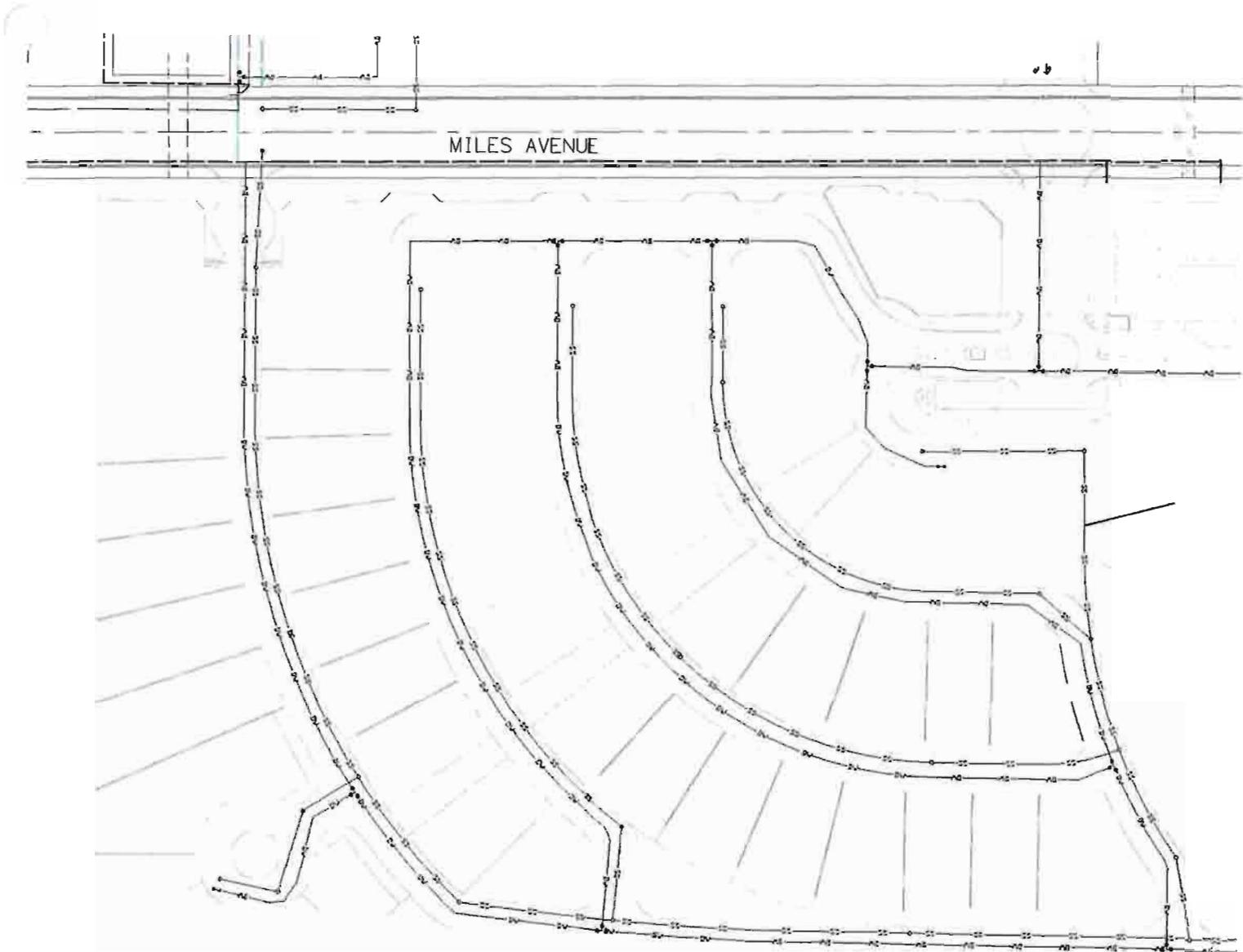
Source: RBF Consulting



Preliminary Utility Plan

Planning Area Two

Source: RBF Consulting



Preliminary Utility Plan Planning Area Three

Source: RBF Consulting